

JOINT APPLICATION FOR PERMITS

U.S. ARMY CORPS OF ENGINEERS - IDAHO DEPARTMENT OF WATER RESOURCES - IDAHO DEPARTMENT OF LANDS

Authorities: The Department of Army Corps of Engineers (Corps), Idaho Department of Water Resources (IDWR), and Idaho Department of Lands (IDL) established a joint process for activities impacting jurisdictional waterways that require review and/or approval of both the Corps and State of Idaho. Department of Army permits are required by Section 10 of the Rivers & Harbors Act of 1899 for any structure(s) or work in or affecting navigable waters of the United States and by Section 404 of the Clean Water Act for the discharge of dredged or fill materials into waters of the United States, including adjacent wetlands. State permits are required under the State of Idaho, Stream Protection Act (Title 42, Chapter 38, Idaho Code and Lake Protection Act (Section 58, Chapter 13 et seq., Idaho Code). In addition the information will be used to determine compliance with Section 401 of the Clean Water Act by the appropriate State, Tribal or Federal entity.

Joint Application: Information provided on this application will be used in evaluating the proposed activities. Disclosure of requested information is voluntary. Failure to supply the requested information may delay processing and issuance of the appropriate permit or authorization. **Applicant will need to send a completed application, along with one (1) set of legible, black and white (8½"x11"), reproducible drawings that illustrate the location and character of the proposed project / activities to both the Corps and the State of Idaho.**

See Instruction Guide for assistance with Application. Accurate submission of requested information can prevent delays in reviewing and permitting your application. Drawings including vicinity maps, plan-view and section-view drawings must be submitted on 8-1/2 x 11 papers.

Do not start work until you have received all required permits from both the Corps and the State of Idaho

FOR AGENCY USE ONLY

USACE NWW-	Date Received:	<input type="checkbox"/> Incomplete Application Returned	Date Returned:
Idaho Department of Water Resources No.	Date Received:	<input type="checkbox"/> Fee Received DATE:	Receipt No.:
Idaho Department of Lands No. L905 2798	Date Received: 06/14/2023	<input checked="" type="checkbox"/> Fee Received \$2625 DATE: 2/15/23 \$425 6/5/23 CK# 1095	Receipt No.:

INCOMPLETE APPLICANTS MAY NOT BE PROCESSED

1. CONTACT INFORMATION - APPLICANT Required:			2. CONTACT INFORMATION - AGENT:		
Name: William Haberman, Managing Member			Name: Jeremy Grimm, President		
Company: Valiant Idaho, LLC			Company: Whiskey Rock Planning + Consulting		
Mailing Address: 151 Clubhouse Way			Mailing Address: 218 Cedar Street, Suite 208		
City: Sandpoint	State: ID	Zip Code: 83864	City: Sandpoint	State: ID	Zip Code: 83864
Phone Number (include area code): 208-265-0400	E-mail: wh@theidahoclub.com		Phone Number (include area code): 208-946-9944	E-mail: jeremy@whiskeyrockplanning.com	
3. PROJECT NAME or TITLE: The Idaho Club North Lake PUD Marina			4. PROJECT STREET ADDRESS: 88 N. Park Road, Hope, ID 83836		
5. PROJECT COUNTY: Bonner, ID	6. PROJECT CITY: N/A		7. PROJECT ZIP CODE: 83836		8. NEAREST WATERWAY/WATERBODY: Lake Pend Oreille / Trestle Creek
9. TAX PARCEL ID#: RP031740000010A	10. LATITUDE: 48.284113 degrees LONGITUDE: -116.352081 degrees	11a. 1/4: SW16	11b. 1/4: NW21	11c. SECTION: 16/21	11d. TOWNSHIP: 57N 11e. RANGE: 1E
12a. ESTIMATED START DATE: November 2023	12b. ESTIMATED END DATE: November 2025		13a. IS PROJECT LOCATED WITHIN ESTABLISHED TRIBAL RESERVATION BOUNDARIES? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES Tribe:		
13b. IS PROJECT LOCATED IN LISTED ESA AREA? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES			13c. IS PROJECT LOCATED ON/NEAR HISTORICAL SITE? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		

14. DIRECTIONS TO PROJECT SITE: Include vicinity map with legible crossroads, street numbers, names, landmarks.

Bonner County Tax Parcels RP031740000010A; Lot 1, The Idaho Club North Lake PUD, Bonner County, ID

15. PURPOSE and NEED: Commercial Industrial Public Private Other
Describe the reason or purpose of your project; include a brief description of the overall project. Continue to Block 16 to detail each work activity and overall project.

See attached Exhibit A: Project Description Summary / Vicinity Map & Proposed Improvements; Exhibit B: Purpose & Need Statement; and, Exhibit C: Mitigation Statement & Alternatives Analysis.

JUN 14 2023

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Name: William Haberman, Manager				Name: Jeremy Grimm, President				
Company: Valiant Idaho II, LLC				Company: Whiskey Rock Planning + Consulting				
Mailing Address: 151 Clubhouse Way				Mailing Address: 218 Cedar Street, Suite 208				
City: Sandpoint		State: ID	Zip Code: 83864	City: Sandpoint		State: ID	Zip Code: 83864	
Phone Number (include area code): 208-265-0400		E-mail: wh@theidahoclub.com		Phone Number (include area code): 208-946-9944		E-mail: jeremy@whiskeyrockplanning.com		
3. PROJECT NAME or TITLE: The Idaho Club North Lake PUD Marina				4. PROJECT STREET ADDRESS: 88 N. Park Road, Hope, ID 83836				
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14. DIRECTIONS TO PROJECT SITE: Include vicinity map with legible crossroads, street numbers, names, landmarks. Bonner County Tax Parcels RP03174000020A; Lot 2, The Idaho Club North Lake PUD, Bonner County, ID								

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1. CONTACT INFORMATION - APPLICANT Required:					2. CONTACT INFORMATION - AGENT:				
Name: Brian Kramer, Managing Member					Name: Jeremy Grimm, President				
Company: Rock Chalk Lenders, LLC					Company: Whiskey Rock Planning + Consulting				
Mailing Address: 151 Clubhouse Way					Mailing Address: 218 Cedar Street, Suite 208				
City: Sandpoint			State: ID	Zip Code: 83864	City: Sandpoint			State: ID	Zip Code: 83864
Phone Number (include area code): 208-265-0400		E-mail: wh@theidahoclub.com			Phone Number (include area code): 208-946-9944		E-mail: jeremy@whiskeyrockplanning.com		
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15. PURPOSE and NEED: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private <input checked="" type="checkbox"/> Other Describe the reason or purpose of your project; include a brief description of the overall project. Continue to Block 16 to detail each work activity and overall project. See attached Exhibit A: Project Description Summary / Vicinity Map & Proposed Improvements; Exhibit B: Purpose & Need Statement; and, Exhibit C: Mitigation Statement & Alternatives Analysis.									

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16. DETAILED DESCRIPTION OF EACH ACTIVITY WITHIN OVERALL PROJECT. Specifically indicate portions that take place within waters of the United States, including wetlands: Include dimensions; equipment, construction, methods; erosion, sediment and turbidity controls; hydrological changes: general stream/surface water flows, estimated winter/summer flows; borrow sources, disposal locations etc.:

Existing boat basin, slack water channel and adjacent shoreline will be excavated, filled, reconfigured and stabilized.

North Branch of Trestle Creek will be redirected to its historic alignment and stabilized, with all work on one parcel (Lot 3 of The Idaho Club North Lake PUD) pursuant to a reciprocal easement for access and utilities between the co-applicants, Valiant Idaho II, LLC and the owner of this parcel, co-applicant, Rock Chalk Lenders, LLC.

Existing boat launch will be ~~abandoned~~ removed. *rmw 6/22/2023*

Dock system consisting of 105 fixed pier docks will be constructed.

Uplands development will include: five residential home sites, each with a legal setback for vertical improvements to prohibit building within the area designated as a slack water channel to be filled; landscaped area to be used as a private park and beach; parking; and road access to the North part of The Idaho Club North Lake PUD to be located within the designated access parcel, but prohibited within the area designated as a slack water channel to be filled.

See attached Exhibit A: Project Description Summary / Vicinity Map & Proposed Improvements.

17. DESCRIBE ALTERNATIVES CONSIDERED to AVOID or MEASURES TAKEN to MINIMIZE and/ or COMPENSATE for IMPACTS to WATERS of the UNITED STATES, INCLUDING WETLANDS: See Instruction Guide for specific details.

See attached documentation for the following:

Open water configuration and shoreline stabilization details;

Construction methods and equipment; Length of project term; and, Quantities and type of materials to be excavated and filled.

See attached Exhibit A: Project Description Summary / Vicinity Map & Proposed Improvements.

See attached Exhibit B: Purpose & Need Statement.

See attached Exhibit C: Mitigation Statement & Alternatives Analysis.

See attached Exhibit D: Public Interest Factors.

18. PROPOSED MITIGATION STATEMENT or PLAN: If you believe a mitigation plan is not needed, provide a statement and your reasoning why a mitigation plan is NOT required. Or, attach a copy of your proposed mitigation plan.

Mitigation is proposed and will include a water quality management plan, vegetation restoration plan, restoration plan for the North Branch of Trestle Creek.

See attached documentation for: Dredging materials disposition; Turbidity and sedimentation control; Revegetation program plans; and, detailed plan to redirect the North Branch of Trestle Creek, designed and to be supervised by River Design Group, a copy of which is provided.

See also attached Exhibit A: Project Description Summary / Vicinity Map & Proposed Improvements. See also attached Exhibit C: Mitigation Statement & Alternatives Analysis.

19. TYPE and QUANTITY of MATERIAL(S) to be discharged below the ordinary high water mark and/or wetlands:

Dirt or Topsoil: 8820 cubic yards
 Dredged Material: _____ cubic yards
 Clean Sand: _____ cubic yards
 Clay: _____ cubic yards
 Gravel, Rock, or Stone: 1590 cubic yards
 Concrete: _____ cubic yards
 Other (describe): _____ : _____ cubic yards
 Other (describe): _____ : _____ cubic yards

TOTAL: 10,410 *rmw* cubic yards

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20. TYPE and QUANTITY of impacts to waters of the United States, including wetlands:

Filling: 1.19 acres 51800 sq ft. 10410 cubic yards
 Backfill & Bedding: _____ acres _____ sq ft. _____ cubic yards
 Land Clearing: _____ acres _____ sq ft. _____ cubic yards
 Dredging: _____ acres _____ sq ft. _____ cubic yards
 Flooding: _____ acres _____ sq ft. _____ cubic yards
 Excavation: 1.43 acres 62200 sq ft. 13900 cubic yards
 Draining: _____ acres _____ sq ft. _____ cubic yards
 Other: _____ : _____ acres _____ sq ft. _____ cubic yards

TOTALS: 2.42 acres 114,000 sq ft. 24,310 cubic yards

21. HAVE ANY WORK ACTIVITIES STARTED ON THIS PROJECT? NO YES If yes, describe ALL work that has occurred including dates.

22. LIST ALL PREVIOUSLY ISSUED PERMIT AUTHORIZATIONS:
 Department of Army Permit No. NWW-2007-0012118
 Idaho Department of Environmental Quality 401 Water Quality Certification
 Idaho Department of Lands Encroachment Permit L-96-S-0602B
 Bonner County Floodplain Development Permit #FDP-2020-0041
 Bonner County PUD #CUP0006-20

23. YES, Alteration(s) are located on Public Trust Lands, Administered by Idaho Department of Lands

24. SIZE AND FLOW CAPACITY OF BRIDGE/CULVERT and DRAINAGE AREA SERVED: N/A Square Miles

25. IS PROJECT LOCATED IN A MAPPED FLOODWAY? NO YES If yes, contact the floodplain administrator in the local government jurisdiction in which the project is located. A Floodplain Development permit and a No-rise Certification may be required.

26a. WATER QUALITY CERTIFICATION: Pursuant to the Clean Water Act, anyone who wishes to discharge dredge or fill material into the waters of the United States, either on private or public property, must obtain a Section 401 Water Quality Certification (WQC) from the appropriate water quality certifying government entity
See Instruction Guide for further clarification and all contact information.

The following information is requested by IDEQ and/or EPA concerning the proposed impacts to water quality and anti-degradation:
 NO YES Is applicant willing to assume that the affected waterbody is high quality?
 NO YES Does applicant have water quality data relevant to determining whether the affected waterbody is high quality or not?
 NO YES Is the applicant willing to collect the data needed to determine whether the affected waterbody is high quality or not?

26b. BEST MANAGEMENT PRACTICES (BMP's) List the Best Management Practices and describe these practices that you will use to minimize impacts on water quality and anti-degradation of water quality. All feasible alternatives should be considered - treatment or otherwise. Select an alternative which will minimize degrading water quality

See attached documentation submitted and previously approved pursuant to NWW-2007-0012118 and Idaho Department of Lands L-96-S-0602B describing the implementation of Best Management Practices: Sediment and turbidity curtains will be installed.
 Dock materials will be light colored and include light penetrating decking to reduce the dark habitat of predator fish.
 Existing native riparian vegetation will be retained and supplemented by additional native plantings.
 All activities will occur in the dry when Lake Pend Oreille is at Winter Pool.
 All machinery will be upland and will not be placed on the lake bed.
 Equipment fluids and fuels will be stored in the upland areas.
 See Exhibit C: Mitigation Statement & Alternatives Analysis; and, Exhibit D: Public Interest Factors

Through the 401 Certification process, water quality certification will stipulate minimum management practices needed to prevent degradation.

27. LIST EACH IMPACT to stream, river, lake, reservoir, including shoreline: Attach site map with each impact location.

Activity	Name of Water Body	Intermittent Perennial	Description of Impact and Dimensions	Impact Length Linear Feet
Excavation	Lake Pend Oreille	Perennial	Shoreline reconfiguration and stabilization	2300
Fill Placement	Lake Pend Oreille	Perennial	Shoreline reconfiguration and stabilization	1600
Excavation	North Branch Trestle Creek	Perennial	Creek Realignment / Reconfiguration	550
Fill Placement	North Branch Trestle Creek	Perennial	Creek Realignment / Reconfiguration	400
TOTAL STREAM IMPACTS (Linear Feet):				4,650

28. LIST EACH WETLAND IMPACT include mechanized clearing, fill, excavation, flood, drainage, etc. Attach site map with each impact location.

Activity	Wetland Type: Emergent, Forested, Scrub/Shrub	Distance to Water Body (Linear ft)	Description of Impact Purpose road crossing, compound, culvert, etc	Impact Length (acres, square ft linear ft)
TOTAL WETLAND IMPACTS (Square Feet):				

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29. ADJACENT PROPERTY OWNERS NOTIFICATION REQUIREMENT Provide contact information of ALL adjacent property owners below

Name: USDA Forest Service (RP57N01E165700A) Mailing Address: 1602 Ontario Street City: State: Zip Code: Sandpoint ID 83864 Phone Number (include area code): E-mail: No known email address	Name: Remolque-Refugio LLC (RP57N01E213151A) Mailing Address: 298 Trailer Haven Road City: State: Zip Code: Hope ID 83836 Phone Number (include area code): E-mail: 208-610-2211 No known email address
Name: Janice S. Best (RP57N01E166400A) Mailing Address: 298 Trailer Haven Road City: State: Zip Code: Hope ID 83836 Phone Number (include area code): E-mail: 208-610-2211 No known email address	Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail: No known email address
Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail: No known email address	Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail: No known email address
Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail: No known email address	Name: Mailing Address: City: State: Zip Code: Phone Number (include area code): E-mail: No known email address

30. SIGNATURES: STATEMENT OF AUTHORIZATION / CERTIFICATION OF AGENT / ACCESS

Application is hereby made for permit, or permits, to authorize the work described in this application and all supporting documentation. I certify that the information in this application is complete and accurate. I further certify that I possess the authority to undertake the work described herein; or am acting as the duly authorized agent of the applicant (Block 2). I hereby grant the agencies to which this application is made, the right to access/come upon the above-described location(s) to inspect the proposed and completed work/activities.

Signature of Applicant: [Handwritten Signature] Date: 6/18/23
 Signature of Applicant: [Handwritten Signature] Date: 4/30/23
 Signature of Approver: [Handwritten Signature] Date: 5/11/23
 Signature of Agent: Jeremy Grimm Date: 04/30/23

This application must be signed by the person who desires to undertake the proposed activity AND signed by a duly authorized agent (see Block 1, 2, 30). Further, 18 USC Section 1001 provides that: "Whoever, in any manner within the jurisdiction of any department of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both".

JUN 14 2023



COMMERCIAL/COMMUNITY/NON-NAVIGATIONAL ENCROACHMENT PERMIT APPLICATION

This information sheet and checklist must be completed when submitting an encroachment permit application. Incomplete applications will be returned without processing.

- ENCROACHMENT TYPE:** (Check all that apply)
- Community dock
 - Commercial marina
 - Bank stabilization
 - Other - describe: Excavation w/for dredging
 - Float home
 - Boat garage
 - Mooring buoy(s)

Applicant's Littoral Rights Are:

- Signature of littoral rights owner is obtained if applicant is not the owner of the riparian/littoral rights
- Owned, fee simple title holder
- Leased
- Other -- describe: _____

Provide a Black/White Copy of Each Required Document on 8 1/2"x14" or Smaller Paper:

- County plat map showing both neighboring littoral lots.
- Tax record identifying the owner of the upland parcel(s)
- Lakebed profile with encroachment and water levels of winter and summer
- General vicinity map that allows Department to find the encroachment
- Scaled air photo or map showing lengths of nearby encroachments, distances to adjacent encroachments, and location and orientation of the proposed encroachment.

Are Existing Docks or Other Encroachment(s) Permitted On This Parcel(s)?

- No
- Yes Please attach a current photograph and a "to scale" drawing (see Document Requirements Above)

Permit # _____ Date of Construction: _____
What will happen to the existing dock or encroachment if this permit application is approved?

- Remain unchanged
- Complete removal
- Modification
- Other: _____

(Please note that old dock materials must be removed from the lake. Discarding these materials creates serious boating safety issues and offenders will be subject to prosecution and penalties.)

How Many Feet Does the Proposed Encroachment Extend Beyond the Ordinary (or Artificial) High Water Mark? 160 feet

The Proposed Dock Length Is:

- The same or shorter than the two adjacent docks
- Longer than the two adjacent docks
- Longer than the two adjacent docks, but within the line of navigability established by the majority of existing docks in the area.
- _____ feet and not located near any other docks or other encroachments.

For Community Docks, Does the Proposed Dock Exceed the Maximum Square Footage of 7 ft² per Littoral Front Foot?

- No
- Yes

Total square footage: 16,560 ft² 15,550 (See Attached) Annw 6/22/23

For Community Docks, Does the Property Have at Least 50 Feet of Littoral Frontage?

- Yes
- No

Total front footage: 2,514 feet

(See Attached)

Annw existing

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2,066.4 feet proposed JUN 14 2023

Will the Proposed Encroachment Exceed the Maximum Width of 10 Feet?

- No

- Yes

If yes, explain why: _____

Will the Proposed Encroachment Be Located Closer Than 25 Feet to the Riparian/Littoral Right Lines Established With Your Neighbors?

- No

- Yes

If yes, what are the proposed distances? _____ feet

- Consent of affected neighbor was obtained

Determining Riparian/Littoral Right Lines

Littoral right lines are not simple extensions of the upland property lines. Littoral right lines are generally perpendicular, or at right angles, to the shoreline. Curved shorelines or unusual circumstances may require Department Staff, or other professionals, to closely examine littoral right lines and assess the potential for infringement on adjacent littoral property owners.

*Whiskey Rock Planning
+ Consulting*

6/8/23

Printed Name

Date

Jonathan Grimm

Signature of Applicant or Agent

Jeremy Grimm

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JUN 14 2023

BK 1.3 Pg 412 1-2-3

926831

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MAY 21 2023

THE IDAHO CLUB NORTH LAKE
LOCATED IN GOVERNMENT LOT 5, SECTION 17, AND IN THE SW 1/4 OF
THE SW 1/4 OF SECTION 16, TOWNSHIP 57 NORTH, RANGE 1 EAST,
BOISE MERIDIAN, BONNER COUNTY, IDAHO

INSTRUMENT NO.

OWNER'S CERTIFICATION

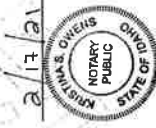
WE HEREBY CERTIFY THAT TRESTLE CREEK INVESTMENTS, LLC, AN IDAHO LIMITED LIABILITY COMPANY, THE RECORD OWNER OF THE REAL PROPERTY DESCRIBED AS PARCEL 2 IN PLATTING CERTIFICATE 44-00220 ISSUED BY NORTH IDAHO TITLE INSURANCE, INC., ON OCTOBER 26, 2017, HAS CAUSED THE SAME TO BE SURVEYED AND DIVIDED INTO PARCELS AS HEREBY PLATTED, TO BE KNOWN AS THE IDAHO CLUB NORTH LAKE, BONNER COUNTY, IDAHO, BEING A BOISE MERIDIAN, TOWNSHIP 57 NORTH, RANGE 1 EAST, B.M. LOCATED IN BONNER COUNTY, IDAHO, DESCRIBED AS FOLLOWS:

AN EASEMENT 30.00 FEET IN WIDTH BENEFITTING LOTS 1, 2, AND 3, AS SHOWN HEREON, IS HEREBY GRANTED FOR INGRESS, EGRESS, AND UTILITIES.

Matt W. Juhn Aug 20, 2018
DATE
OWNER
TRESTLE CREEK INVESTMENTS, LLC
AN IDAHO LIMITED LIABILITY COMPANY

ACKNOWLEDGEMENT

STATE OF IDAHO
COUNTY OF BONNER
ON THIS 20th DAY OF August, 2018, BEFORE ME, KARLEENA S. OWENS, A NOTARY PUBLIC,
PERSONALLY APPEARED MARTIN GOUL, KNOWN OR IDENTIFIED TO ME TO BE THE MANAGING MEMBER OF TRESTLE CREEK INVESTMENTS, LLC,
AN IDAHO LIMITED LIABILITY COMPANY, WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED
TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.



PANHANDLE HEALTH DISTRICT 1

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13, ARE
HEREBY NOTICED TO THE PUBLIC BY THIS INSTRUMENT. THE PUBLIC IS ADVISED THAT
WHICH NECESSARILY THE SUPPLYING OF WATER OR SEWAGE FACILITIES FOR
PERSONS USING SUCH PREMISES UNTIL SANITARY RESTRICTION REQUIREMENTS ARE
SATISFIED.

SURVEYORS CERTIFICATE

I, KENNETH FISHER, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO,
DO HEREBY CERTIFY THAT I HAVE EXAMINED THE RECORDS OF THE RECORDER OF BONNER COUNTY, IDAHO,
AND I AM SURE THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN FULLY PAID UP
AND IS NOT SUBJECT TO ANY UNPAID TAXES OR LIENS OF ANY KIND OR CHARACTER.

Kenneth Fisher 8/20/18
KENNETH FISHER PLS NO. 13444

PLANNING DIRECTOR'S CERTIFICATE

THIS PLAT HAS BEEN EXAMINED AND APPROVED FOR FILING.
DATED THIS 27 DAY OF August, 2018.

DMULL
BONNER COUNTY PLANNING DIRECTOR

COUNTY TREASURER'S CERTIFICATE

I HEREBY CERTIFY THAT THE REQUIRED TAXES ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN FULLY PAID UP
TO AND INCLUDING THE YEAR 2018.
DATED THIS 27th DAY OF AUGUST, 2018.

Christy D. Riehl
BONNER COUNTY TREASURER

COUNTY COMMISSIONERS' CERTIFICATE

THIS PLAT HAS BEEN APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS OF BONNER
COUNTY, IDAHO.
DATED THIS 28th DAY OF August, 2018.

Eva Davis
CHAIRMAN OF THE BOARD OF COUNTY COMMISSIONERS

COUNTY SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE EXAMINED THE HEREN PLAT OF THE IDAHO CLUB NORTH LAKE AND CHECKED THE PLAT AND
SURVEYORS RECORDS AND HAVE DETERMINED THAT THE REQUIREMENTS OF THE IDAHO STATE CODE PERTAINING TO PLATS
AND SURVEYS HAVE BEEN MET.
DATED THIS 28 DAY OF August, 2018.

Daphne R. May
BONNER COUNTY SURVEYOR

COUNTY RECORDER'S CERTIFICATE

THIS PLAT HAS BEEN FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF BONNER COUNTY, IDAHO, AT THE REQUEST OF
WELCH-COMER ENGINEERS, DATED THIS 28th DAY OF August, 2018, AT 10:54 AM, AND WAS DULY
RECORDED IN PLAT BOOK 13, PAGE 412, AS INSTRUMENT NO. 926831.

Christie Branson
BONNER COUNTY RECORDER

Instrument # 920531, Bl. 23 Pt. 02
Book 13, Page 412
Recorded on 8/20/18 at 10:54 AM
By Christie Branson
Bonner County Recorder

NOTES:

- 1. ELEMENTS OF RECORD REPORTED IN NORTH IDAHO TITLE INSURANCE, INC. PLATTING CERTIFICATE, ORDER NO. N-42820, DATED OCTOBER 26, 2017, THAT ARE NOT LOCATABLE ON THE GROUND OR ARE A BLANKET EASEMENT FOR UTILITY PURPOSES ARE:
A. ELLEN EAGAN TO F.W. EAGAN, RECORDED APRIL 16, 1937, IN BOOK 57 OF DEEDS, PAGE 485
B. FINE & BROWN, SA OF DEEDS, PAGE 185
C. WALTER S. & RUTH HOPPER TO MOUNTAIN STATES POWER CO., RECORDED APRIL 14, 1953, AS INSTRUMENT NO. 47226, BONNER COUNTY OFFICIAL RECORDS
D. KALOGOFFS RESORT C/O WILLELLI ENTERPRISES, INC. TO GENERAL TELEPHONE COMPANY, RECORDED SEPTEMBER 18, 1987, AS INSTRUMENT NO. 335446, BONNER COUNTY OFFICIAL RECORDS
E. EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION, RECORDED SEPTEMBER 20, 2011, AS INSTRUMENT NO. 619504, BONNER COUNTY OFFICIAL RECORDS



WELCH-COMER ENGINEERS AND SURVEYORS
250 E. MANHATTAN AVE
BOISE, IDAHO 83725
(208) 333-8882
(208) 333-8883
FAX: (208) 333-8884

THE IDAHO CLUB NORTH LAKE
IN GOVT. LOT 5, SEC. 17, & SW 1/4
SW 1/4 SEC. 16, T. 57N., R. 1E., B.M.,
BONNER COUNTY, IDAHO

PROJECT NO. 44008 D02
APPROVED BY _____
CHECKED BY _____
DATE _____
SHEET NO. 1 OF 3

THE IDAHO CLUB NORTH LAKE

LOCATED IN GOVERNMENT LOT 5, SECTION 17, AND IN THE SW 1/4 OF THE SW 1/4 OF SECTION 16, TOWNSHIP 57 NORTH, RANGE 1 EAST, BOISE MERIDIAN, BONNER COUNTY, IDAHO

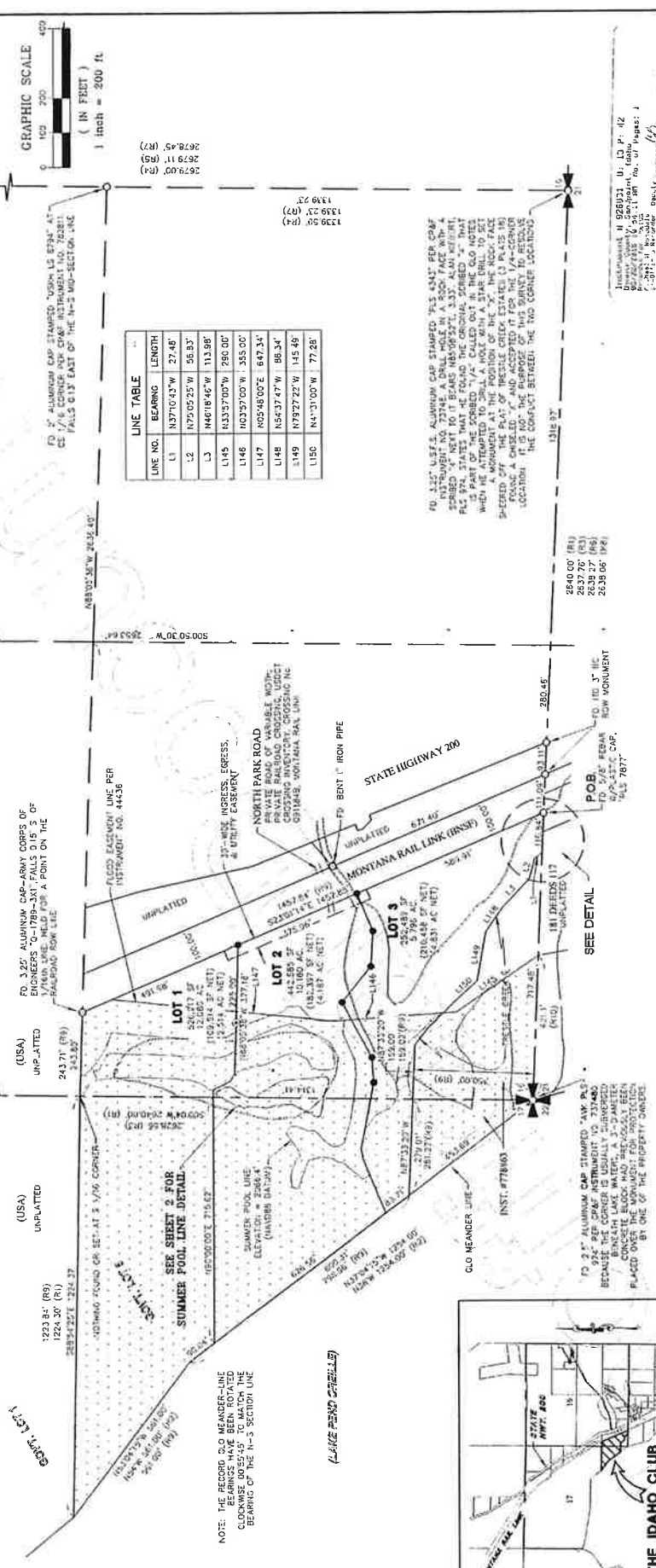
MAY 01 2023

REFERENCES: RECORDS OF BONNER COUNTY

- R1) ORIGINAL GLO PLAN, OSCAR SONNENKALE, 1897
- R2) ORIGINAL MEASUREMENT NOTES, OSCAR SONNENKALE, 1898
- R3) ALBEN FALLS CADASTRAL SURVEY, INSTRUMENT NO. 310866, 1985
- R4) RECORD OF SURVEY, INSTRUMENT NO. 336921, 1991
- R5) RECORD OF SURVEY, INSTRUMENT NO. 336921, 1991
- R6) RECORD OF SURVEY, INSTRUMENT NO. 520336, 1988
- R7) RECORD OF SURVEY, INSTRUMENT NO. 783250, 2009
- R8) RECORD OF SURVEY, INSTRUMENT NO. 802927, 2017
- R9) RECORD OF SURVEY, INSTRUMENT NO. 802927, 2017
- R10) WARRANTY EASEMENT, INSTRUMENT NO. 44436, 1992

BASIS OF BEARING

THE GLO BEARING MEASUREMENTS ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 16, THE PROJECT IS ON THE IDAHO COORDINATE SYSTEM, WEST ZONE, NAD83 (2011) EPOCH 2010.000, AND HAS BEEN ADJUSTED FROM STATE PLANE GRID COORDINATES TO PROJECT COORDINATES. ALL DISTANCES ARE IN FEET AND A CONVERGENCE ANGLE OF -028.50" AT CONTROL POINT 200. DISTANCES SHOWN HEREON ARE GROUND DISTANCES.



NOTES:

- 1) MONUMENTS WERE NOT SET ALONG THE BOUNDARIES OF THE PROPERTY AS INDICATED BY THE WATERS OF LAKE PEGGIE OR PESTLE CREEK OR LAKE ABOVE THE SURFACE ELEVATION OF 2066.4' (MAY BE BATHYMETRY).

LEGEND:

- SET 1/2" X 30" BEARING WITH PLASTIC CAP MARKED "WELCH CORNER PLS 1344"
- SET 5/8" X 30" BEARING WITH 2.5" ALUMINUM CAP MARKED "MC PLS 13444", FOR WITNESS
- FOUND SURVEY MONUMENT AS NOTED
- INSTRUMENT NO. 44436
- U.S. B.M. & WILSON SERVICE
- WELCH CORNER

VICINITY MAP

NO SCALE



WELCH-CORNER
SURVEYING & CONSULTING

205 E. McDermott
Boise, Idaho 83725
Phone: 208-333-8888
Fax: 208-333-8888

PROJECT NO. 44436
DATE: 05/01/2023
DRAWN BY: Kenneth L. Welch
CHECKED BY: Kenneth L. Welch
SCALE: AS SHOWN
SHEET NO. 2 OF 3

THE IDAHO CLUB NORTH LAKE
IN GOV'T LOT 5, SEC. 17, & SW 1/4 SW 1/4 SEC. 16, T. 57N, R. 1E, B. 1M.
BONNER COUNTY, IDAHO

MAY 31 2023

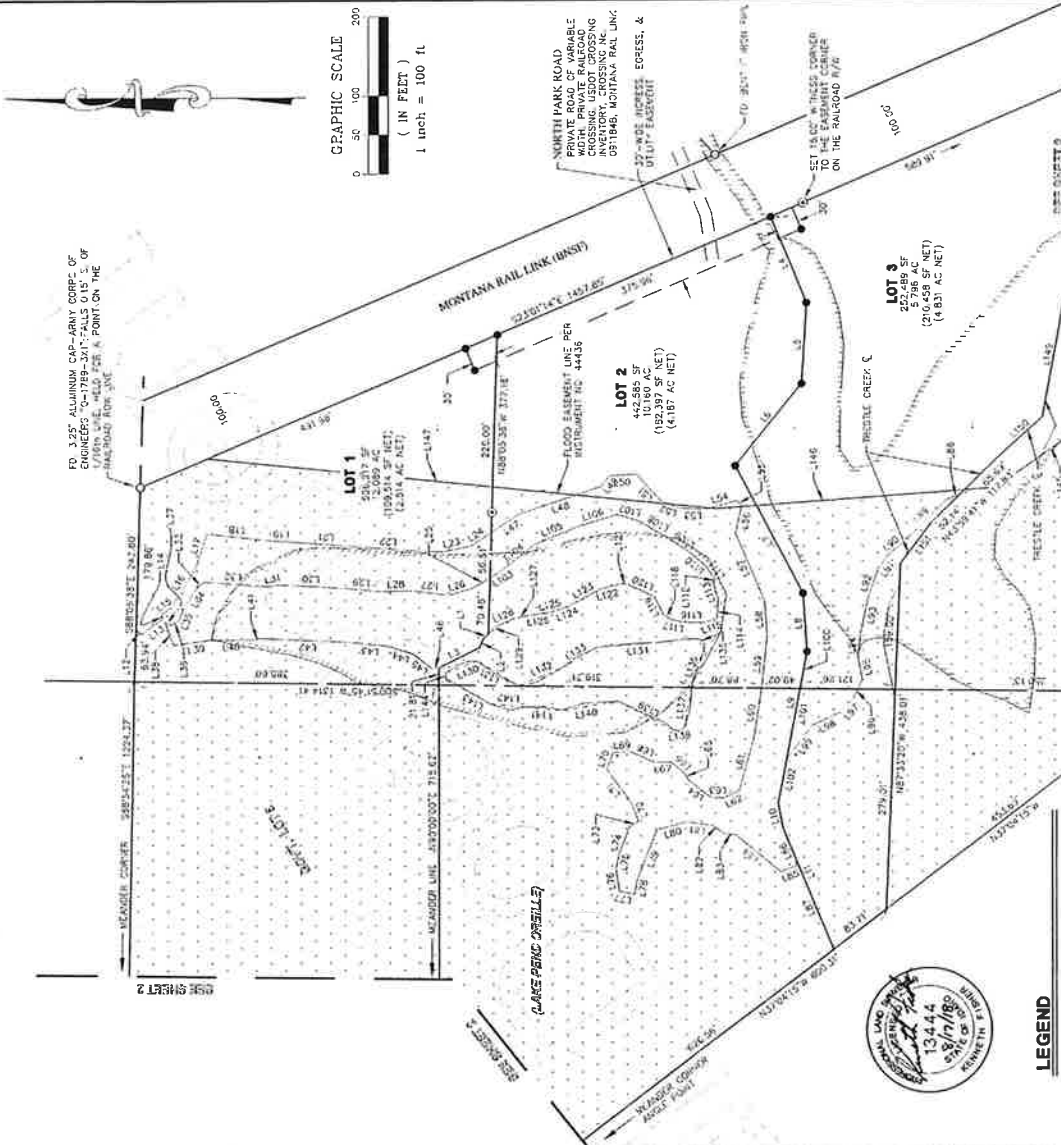
926831

BK 13 Pg 42 3 of 3

THE IDAHO CLUB NORTH LAKE
 LOCATED IN GOVERNMENT LOT 5, SECTION 17, AND IN THE SW 1/4 OF
 THE SW 1/4 OF SECTION 16, TOWNSHIP 57 NORTH, RANGE 1 EAST,
 BOISE MERIDIAN, BONNER COUNTY, IDAHO

INSTRUMENT NO.

Instrument N 985931, D1, L3 P: 12
 06/22/2023 10:21:11 AM
 06/22/2023 10:21:11 AM
 06/22/2023 10:21:11 AM
 06/22/2023 10:21:11 AM



LINE NO.	BEARING	LENGTH
L51	148°02'28"E	6.68'
L52	377°19'59"E	35.20'
L53	N68°40'02"E	92.35'
L54	N89°30'12"E	43.74'
L55	S89°33'39"E	67.41'
L56	S81°00'06"E	53.89'
L57	S74°00'40"E	59.27'
L58	S25°19'22"E	21.33'
L59	S14°09'21"W	17.05'
L60	S30°31'57"W	35.35'
L61	S55°27'57"W	9.16'
L62	S52°12'58"W	22.91'
L63	S50°49'52"E	21.04'
L64	S33°37'14"W	32.22'
L65	S01°07'02"E	23.38'
L66	S89°37'09"E	22.83'
L67	S79°14'19"E	20.21'
L68	N89°11'11"E	24.40'
L69	S35°40'45"E	3.35'
L70	S68°26'15"E	36.61'
L71	S79°14'19"E	20.21'
L72	N89°11'11"E	24.40'
L73	S35°40'45"E	3.35'
L74	S68°26'15"E	36.61'
L75	S79°14'19"E	20.21'
L76	N89°11'11"E	24.40'
L77	N130°35'E	19.57'
L78	N78°42'34"W	17.51'
L79	N85°00'04"W	69.55'

LINE NO.	BEARING	LENGTH
L80	N15°04'14"W	38.00'
L81	N07°22'54"E	33.11'
L82	N33°53'59"E	18.81'
L83	N07°17'59"E	15.00'
L84	N39°39'59"E	74.35'
L85	N20°56'01"W	24.00'
L86	N27°23'04"E	51.86'
L87	N27°23'04"W	116.22'
L88	N25°36'47"W	18.14'
L89	N44°01'11"W	74.92'
L90	N38°34'00"W	27.45'
L91	N55°54'01"W	23.51'
L92	N69°49'32"E	35.83'
L93	N78°01'57"W	45.28'
L94	N68°15'21"W	26.07'
L95	S80°05'20"W	32.70'
L96	N69°02'28"E	19.77'
L97	N49°02'27"W	27.48'
L98	N35°06'40"E	43.17'
L99	N22°23'00"W	52.77'
L100	N75°24'49"W	48.39'
L101	N79°04'49"W	90.50'
L102	N79°04'49"W	97.09'
L103	S20°00'13"E	13.45'
L104	S77°25'27"E	46.07'

LINE NO.	BEARING	LENGTH
L105	S22°45'08"E	53.81'
L106	S16°07'25"E	56.53'
L107	S101°01'21"W	10.86'
L108	S30°45'34"W	42.47'
L109	S33°22'33"W	28.86'
L110	S40°08'55"W	27.76'
L111	S50°21'01"W	20.00'
L112	N72°05'40"W	4.68'
L113	S73°45'37"W	2.62'
L114	N88°32'54"W	24.41'
L115	N07°33'33"W	18.67'
L116	N02°17'07"E	35.89'
L117	N12°35'01"E	14.66'
L118	N23°42'20"E	11.34'
L119	N64°16'07"E	26.10'
L120	N24°14'26"E	36.75'
L121	N09°27'11"E	7.75'
L122	N4°15'55"W	28.17'
L123	N65°26'42"W	34.80'
L124	N14°09'30"W	22.98'
L125	N14°09'30"W	17.91'
L126	N05°27'31"W	19.01'
L127	N12°43'27"E	33.35'
L128	N24°41'41"W	23.23'
L129	N43°45'38"W	12.55'

LINE NO.	BEARING	LENGTH
L130	N43°06'12"W	42.08'
L131	N30°53'46"E	61.48'
L132	N22°01'56"W	57.88'
L133	N32°23'11"W	52.75'
L134	N04°12'42"W	131.49'
L135	N71°28'09"E	14.45'
L136	S71°02'33"E	50.82'
L137	S79°38'23"E	52.22'
L138	S08°54'13"E	14.09'
L139	S27°44'42"W	78.42'
L140	S08°23'42"E	73.35'
L141	S56°48'07"W	48.11'
L142	S04°33'37"W	42.88'
L143	S28°32'54"W	55.33'
L144	N88°53'44"W	7.10'
L145	N33°57'06"W	280.60'
L146	N53°59'08"W	355.00'
L147	N05°48'00"E	647.34'
L148	N78°27'22"W	145.48'
L149	N41°31'05"W	77.28'
L150	S22°16'49"E	63.61'

LEGEND

- SET 5/5' X 30' BEAR WITH PLASTIC CAP MARKED WELCH-COMER P.S. 13444
- U.S.A. FLOOD EASEMENT REF. INSTRUMENT NO. 44436
- FOUND SURVEY MONUMENT AS NOTED
- U.S. FISH & WILDLIFE SERVICE WETLANDS BOUNDARY

NOTES:

- MONUMENTS WERE NOT SET ALONG THE SUMMER-POOL LINE OR IN AREAS USUALLY SUBJECT TO FLOODING OF LAKE PEVIC OR PEVIC CREEK.
- NET ACRES IS THE AREA OF LAND ABOVE AND ABOVE

THE IDAHO CLUB NORTH LAKE

WELCH-COMER SURVEY

PROJECT NO. 44008-003
 DESIGNED BY: MZ
 CHECKED BY: MZ
 DATE: 06/22/2023
 SCALE: AS SHOWN
 SHEET NO. 3 OF 3

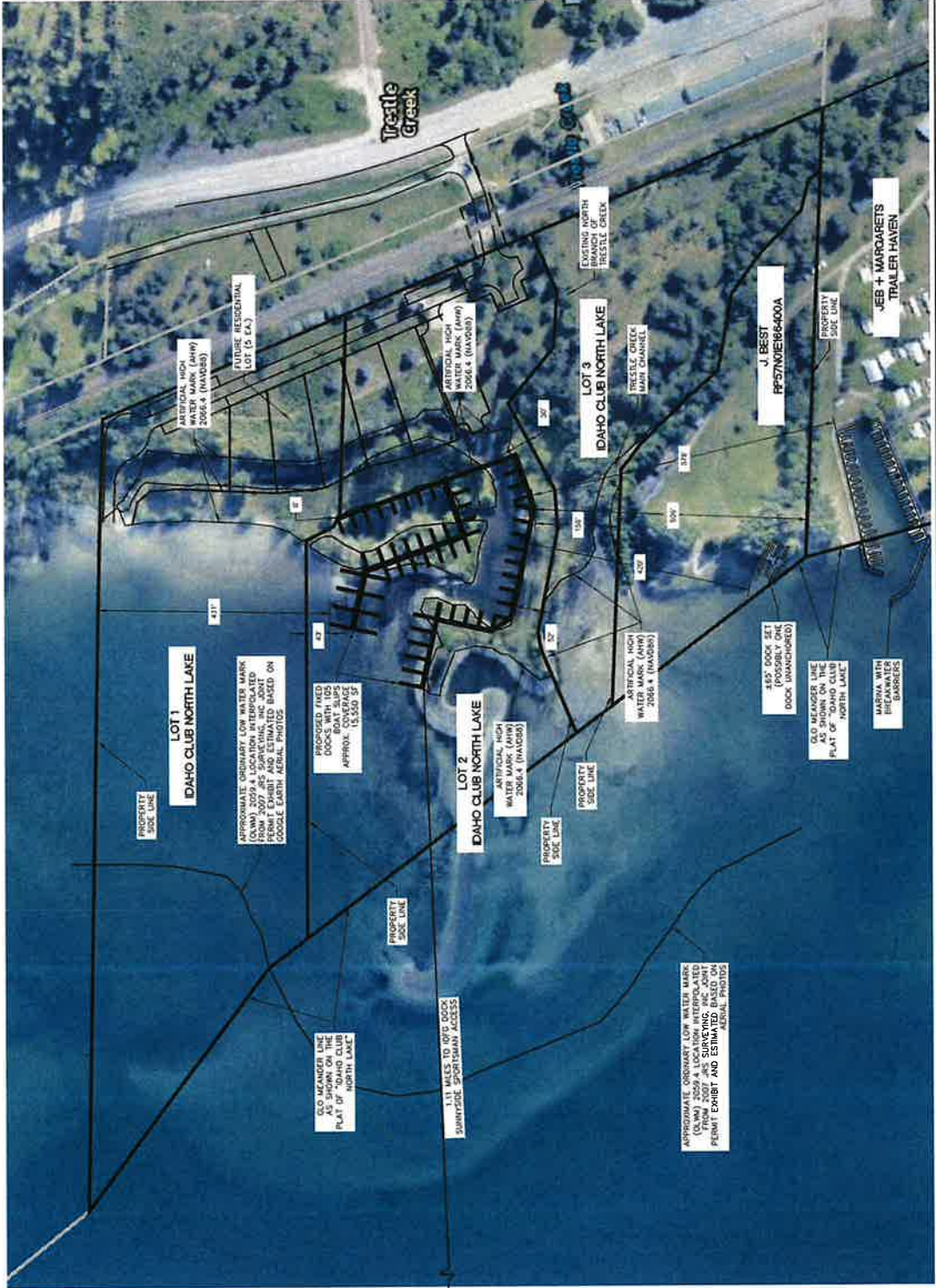
IN GOV'T LOT 5, SEC. 17, & SW 1/4 SW 1/4 SEC. 16, T. 57 N., R. 1 E., B. 1 W., BONNER COUNTY, IDAHO

208-664-8822
 100 N. PARKWAY
 BOISE, IDAHO 83725



IDAHO CLUB NORTH LAKE P.U.D. DISTANCES TO PROPERTY LINES AND ENCROACHMENTS

LOTS 1 & 2, IDAHO CLUB NORTH LAKE, SEC 16 & 17,
T57N, R1E, BOISE MERIDIAN, BONNER COUNTY, IDAHO



NO.	DATE	REVISION

James A. Sewell and Associates, LLC
1319 NORTH DIVISION AVENUE
SANDPOINT, IDAHO 83864
(208) 263-4160

SHEET TITLE
DISTANCES TO PROPERTY LINES
AND ENCROACHMENTS

PROJECT
IDAHO CLUB NORTH LAKE P.U.D.
BONNER COUNTY, IDAHO

DATE
06/15/2023

SCALE
AS SHOWN

BY
JAS

CHECKED BY
BSB

DATE
07/20/2023

PROJECT NO.
2023-02-001

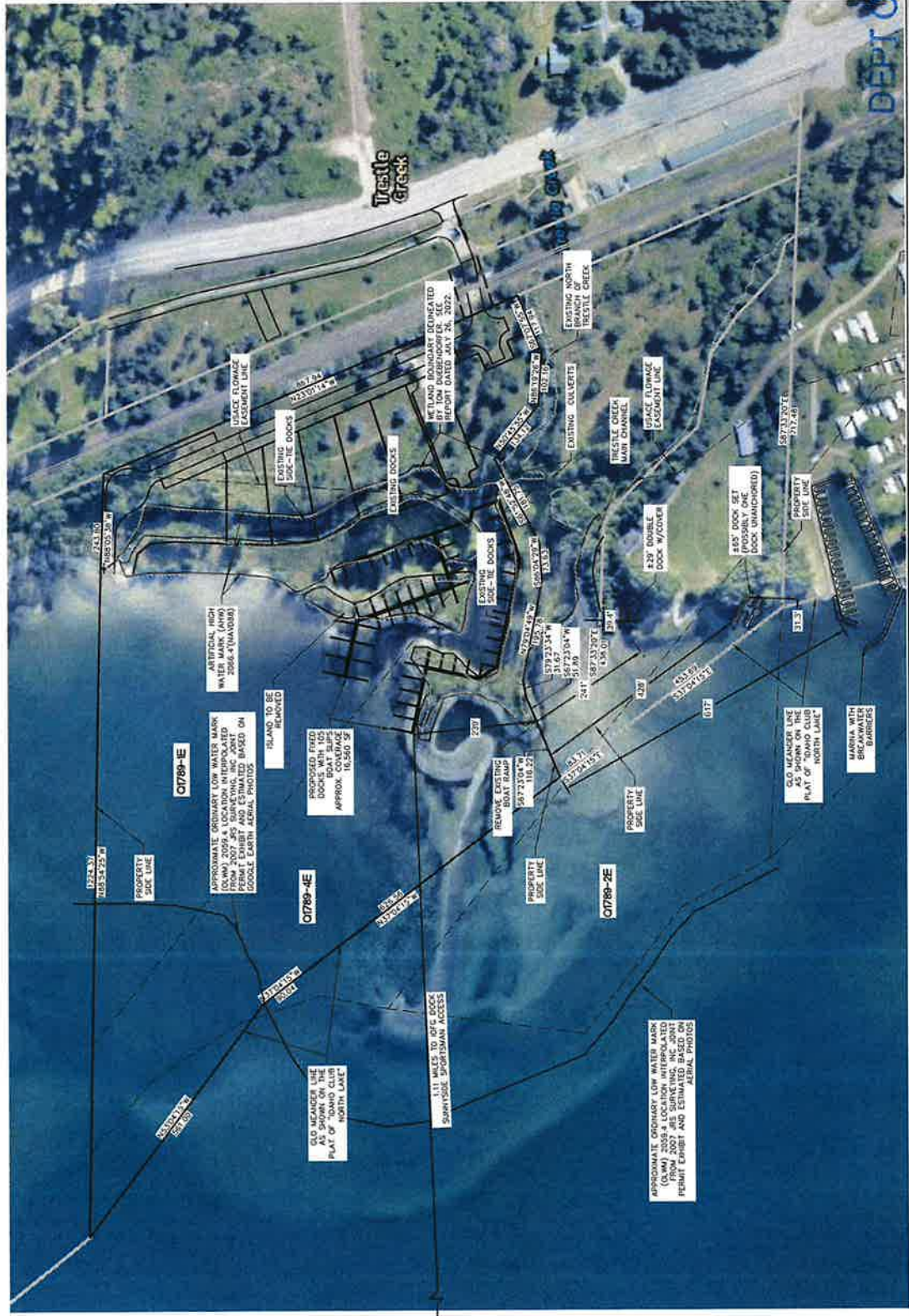
SHEET 1 of 1

DEPT OF LANDS

JUN 15 2023

IDAHO CLUB NORTH LAKE PRELIMINARY MARINA PLANS

LOTS 1 & 2, IDAHO CLUB NORTH LAKE, SEC 16 & 17,
T57N, R1E, BOISE MERIDIAN, BONNER COUNTY, IDAHO



NO.	DATE	DESCRIPTION
1	6/17/23	ADD DATE TO DRAWING
2	6/17/23	ADD DATE TO DRAWING
3	6/17/23	ADD DATE TO DRAWING
4	6/17/23	ADD DATE TO DRAWING
5	6/17/23	ADD DATE TO DRAWING
6	6/17/23	ADD DATE TO DRAWING
7	6/17/23	ADD DATE TO DRAWING
8	6/17/23	ADD DATE TO DRAWING
9	6/17/23	ADD DATE TO DRAWING
10	6/17/23	ADD DATE TO DRAWING

James A. Small and Associates, LLC
1319 NORTH DIVISION AVENUE
SANDPOINT, IDAHO 83864
(208) 263-4160



IDAHO CLUB NORTH LAKE P.U.D.
BONNER COUNTY, IDAHO
MARINA VICINITY MAP
SHEET TITLE
DATE: 06/15/2023
PROJECT: AS SHOWN
SCALE: AS SHOWN
DRAWN BY: JAS
CHECKED BY: JAS
DATE: 06/15/2023
SHEET 1 OF 1

DEPT OF LANDS

JUN-15-2023

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EXHIBIT C MITIGATION STATEMENT 45
ALTERNATIVES ANALYSIS 48
EXHIBIT D PUBLIC INTEREST FACTORS 58

DEPT OF LANDS

JUN 14 2023

EXHIBIT A

PROJECT DESCRIPTION SUMMARY

VICINITY MAP & PROPOSED IMPROVEMENTS

Background: During the period in which the Applicant had valid permits from both the U. S. Army Corps of Engineers (“USACE”) and Idaho Department of Lands (“IDL”), Applicant received feedback from USACE and others, and has since revised the layout of the North Parcel's dock marina area and shoreline reconfiguration to concentrate the boat basin into a footprint that closely matches the existing boat basin and significantly reduces the encroachment of docks into the lake. This results in a tighter configuration for the proposed marina and a significant reduction in the total amount of excavation that will be required. Further, based on comments from IDL, the Applicant has removed the request for a private boat ramp at the north end of the project. Additional minor adjustments to the project plans were also incorporated for clarification.

Project Description Summary: The project involves the redevelopment of a previous privately owned recreation vehicle park, camp site and marina into a private residential community development and private boat marina for the use by the residents and members of The Idaho Club. Additionally, part of the project will include the reconfiguration of the artificial terminus of the North Branch of Trestle Creek to resume its natural flow back into the Main Branch of Trestle Creek.

The North Parcel Marina Work will initially consist of reconfiguring the existing boat basin area shoreline. This will entail the excavation of certain areas of the existing upland areas along the lake and an upland island within the boat basin. In addition, the work will be below the ordinary high water line (2062.5') in the area of excavation, as well as localized sand bar toes adjacent to these upland excavation areas to result in a generally uniform boat basin bottom elevation of 2055.5'. This elevation and the implementation of this work from late Fall to early Spring will allow all excavation to be completed with no direct in-water activity by any machinery or equipment.

Most of the rocky and gravelly-sand glacial outwash being excavated from the island and shoreline will be placed as fill into the existing man-made slack water channel in jurisdictional waters below the ordinary high water line of Lake Pend Oreille. The net effect of the excavation and fill placement within the project will be a moving of the high water line of the lake slightly landward, the elimination of the man-made slack water channel, and an increase in contiguous open water area. All excavation and fill activities below the ordinary high water line will be done after the lake has been drawn down to 2055' or lower in the Fall of 2023 and Winter 2023/2024.

The redirection of the North Branch of Trestle Creek from the culvert that flows into the existing boat basin back to the original historic outlet to the Main Branch of Trestle Creek will be done in between August and October of 2024 when the creek is dry or mostly dry. The North Branch of Trestle Creek stabilization work will be completed prior to the normal creek flow start in November 2023 or 2024. Planting will occur in the late Fall of 2023 and early Spring of 2024 for both the North Branch and Main Branch of Trestle Creek's riparian restoration zones.

Pile driving for the fixed docks along the shoreline will be done from the shoreline to minimize the impact and compaction to the bottom of the exposed lake bed during low water activities. The dock structure piles for the docks located in the lake bed will need to be installed from a barge in the summer of 2024 due to being out of reach for an upland mounted crane to safely reach them. Piles will be vibratory driven and during all in-water pile work, the work area will be surrounded with sediment/ turbidity curtains.

DEPT OF LANDS

The boat slips in the North Parcel reconfigured marina will be fixed elevation docks generally perpendicular to the shoreline and within the boat basin.

There will be required toe excavation below the high water line to provide a stable toe trench to support the shore stabilizing riprap and dock bulkhead. Some riprap will be selectively placed along the shoreline between the old boat launch and the end docks for the shoreline edge planting. Broken concrete will be removed during this stabilization work. All equipment will operate during this work from upland areas. A 'clean boat' policy and protocol procedure will be established and implemented to assure that introduction of nuisance aquatic species will not occur.

Overall Construction:

None of the docks or structures extend over lake bed elevations at or below 2051'. Quantity and configuration details of the dock structures are included in this Exhibit A.

There will be no year around access to any of the docks generally from November to April of each year, and limited access in October and May while the water is being drawn up or down. Along the shoreline, the boardwalk and headwall (bulkhead) structure will involve the minimum excavation needed to protect the shoreline from toe scour and will consist of a natural rock stacked/placed wall, below the fixed dock headwalls.

The fixed dock structures will be steel frame construction with light penetrating decking. Pilings for the dock structures will be steel piles painted with a non-toxic, long lasting light colored marine paint to reduce dark habitat hiding areas for predator fish.

The dock walkway structures will be assembled on-site in upland areas and be placed and secured in a consecutive manner via a barge mounted crane during seasonal high water (2062.5'). The barge will anchor to the piling structures as needed and will not ground itself on the lakebed.

Open-Water Configuration and Shoreline Stabilization Details:

The primary reconfiguration of the shoreline will be the removal of an artificial 'island' in the North Parcel of the project and along the existing main shoreline from the North property boundary to the South portion of the basin, and on the interior of the peninsula. This will create a contiguous open water boat basin area with improved water flow and circulation, and the material excavated will be used to fill the existing man made slack water channel boat basin. The majority of the excavation is above the ordinary high water mark of 2062.5'. Excavation below 2062.5' will generally be to a consistent elevation of 2055.5' in the main North Parcel marina area.

Shoreline stabilization activities will occur on the outside of the existing peninsula. Some excavation will be needed to restore a stable angle of repose and more natural embankment slope. The existing contours of the shoreline will be maintained to the best extent practicable. Existing native riparian vegetation will be retained, when possible, and additional placed rock with native plantings will be installed to restore and establish a stable and fully vegetated shoreline.

The restoration of the North Branch of Trestle Creek will maintain or improve the high water flow conditions of Trestle Creek and eliminate the possibility of out-migrating bull trout getting flushed into the boat basin. All of the seasonal flow of the North Branch will be restored to the Main Branch of Trestle Creek, which will provide out migrating fish direct and unimpeded access to the lake's deeper, colder and safer waters away from any boat dock areas. The existing hanging culvert fish barrier at the outlet of the North Branch of Trestle Creek will be eliminated. As previously requested by U. S. Fish and Wildlife Service ("USFWS"), a sill weir or artificial fish barrier near to the connection to the Main Branch will be installed and managed in conjunction with Idaho Fish and Game ("IFG") to prevent up-migrating or

DEPT OF LANDS

spawning bull trout moving into the North Branch and getting stranded when it dries up.

The entire riparian corridor of the North Branch and Main Branch of Trestle Creek will be restored to native riparian vegetative buffers or setbacks from the open water and creek channels. These will be protected with homeowner's covenants developed as part of the formal property deed and title language. This restoring effort will provide significant riparian habitat and improvement along the creek shoreline.

Construction Methods and Equipment:

The dock structures will be primarily pre-built and either trucked in on land via existing access roads to the property or brought to the site via work barges. Project work sequencing will be generally as described herein:

Low Water Conditions - Reconfiguration/restoration of the North Branch of Trestle Creek; Excavation related to the reconfiguration of the boat basin and shoreline in the North Parcel; Pile placement for the fixed dock structures; and,

High-Water Conditions - Dock piling placement, dock decking placement; revegetation and restoration plantings.

All work machinery and support vehicles, other than the work barges used, will be out of the water. All machinery and equipment will have appropriate and sufficient spill protection materials available and deployed at the point of use. The pile driving crane and machinery, even when working in dry conditions, will utilize hydraulic fluids that are EPA approved for marine environments (Chevron Clarity ISO 46, or equivalent). Equipment fluids and fuels will be stored in upland staging areas, in double walled containers as well as within a covered 130% capacity fuel containment structure. All servicing of machinery will occur in upland staging areas at least 100 feet from any open water, or the high water line.

Length of Project Along Stream or Extension into Lake or Reservoir:

The applicant has worked with the IDL and developed the revised layout and square foot tally of the impact area of the proposed marina/dock portion of the project as described in this Exhibit A.

Type of Excavated Material:

Subsoils and gravel from the 'island' and shoreline/peninsula stabilization or reconfiguration; lake bottom sediments from the boat basin area, broken concrete and debris.

Disposal Site for Excavated Material:

Following a project specific developed 'Primary Assessment' plan and protocol, per the Northwest Regional Sediment Evaluation Framework, Interim Final 9/2006, the excavated materials will be evaluated and tested to ensure they are free of hazardous or toxic pollutants. If determined to be clean and free of hazards, and determined to be structurally appropriate by the project engineer, they will be then used in the back channel fill area in the North Parcel. Excess materials will be removed from the site or used for backfill for project buildings and berms; or removed to an approved upland site for placement.

Method of Excavation:

Excavation work will be done during Winter, low lake level work windows. Most materials will be placed in the slack water boat basin channel as jurisdictional fill or stockpiled at least 100 feet inland of the work area and allowed to drain into the well drained soils prior to removal or redeployment throughout the site as needed. Excavation will be by excavator or crane clam shell bucket.

DEPT OF LANDS

JUN 14 2023

EXHIBIT A — ADDENDUM

SUPPLEMENTAL INFORMATION PROVIDED

(1) EAST BRANCH TRESTLE CREEK RESTORATION PLAN PREPARED BY RIVER DESIGN GROUP DATED JULY 18, 2022.

(2) WETLAND DELINEATION REPORT PREPARED BY TOM DUEBENDORFER, MA, PWS DATED JULY 26, 2022, UPDATED AUGUST 19, 2022 & OCTOBER 29, 2022.

(3) BONNER COUNTY PLANNING DEPARTMENT THE IDAHO CLUB NORTH LAKE PUD APPROVAL FILE CUP00006-20 DATED JANUARY 15, 2021.

(4) BONNER COUNTY PLANNING DEPARTMENT MODIFICATION OF PUD FILE MOD0001-22 DATED JUNE 17, 2022.

(5) BONNER COUNTY FLOODPLAIN DEVELOPMENT PERMIT NO. FDP2020-0041 DATED SEPTEMBER 29, 2020.

(6) IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY FINAL SECTION 401 WATER QUALITY CERTIFICATION DATED FEBRUARY 21, 2019.

(7) PANHANDLE HEALTH DISTRICT SUBSURFACE SEWAGE DISPOSAL PERMIT DATED AUGUST 14, 2020.

(8) IDAHO DEPARTMENT OF WATER RESOURCES WATER RIGHT & PERMIT APPROVAL DATED OCTOBER 29, 2021.

(9) IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY COMMUNITY SEPTIC AND SEWER PLANS AND SPECIFICATIONS CONDITIONAL APPROVAL DATED AUGUST 15, 2022.

(10) WATER QUALITY MANAGEMENT PLAN PREPARED BY INTERMOUNTAIN RESOURCES DATED JUNE 18, 2008, AS AMENDED OCTOBER 3, 2008 FOR EXCAVATION AND DREDGING PROTOCOL.

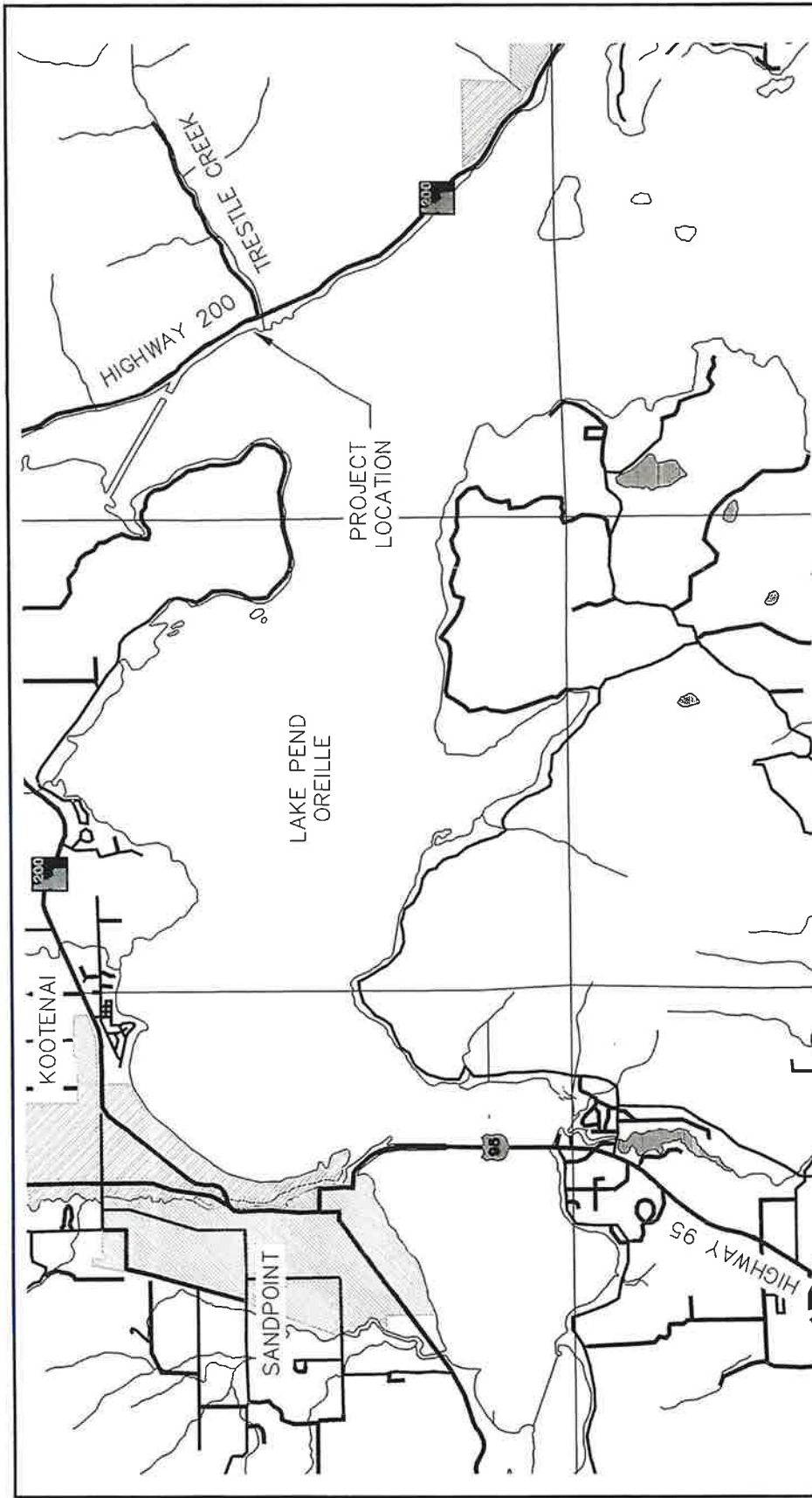
(11) BIOLOGICAL EVALUATION PREPARED BY INTERMOUNTAIN RESOURCES DATED SEPTEMBER 14, 2007, AS REVISED DECEMBER 30, 2008.

(12) RIPARIAN VEGETATION RESTORATION / PLANTING PLAN PREPARED BY INTERMOUNTAIN RESOURCES DATED BY FEBRUARY 25, 2008.

(13) TEST EXCAVATION / SEDIMENT ANALYSIS PREPARED BY RAIN SHADOW RESEARCH INC. DATED APRIL 2008.

DEPT OF LANDS

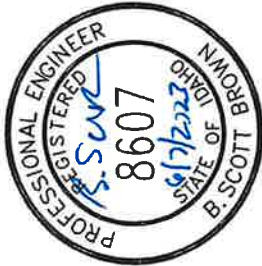
JUN 14 2023



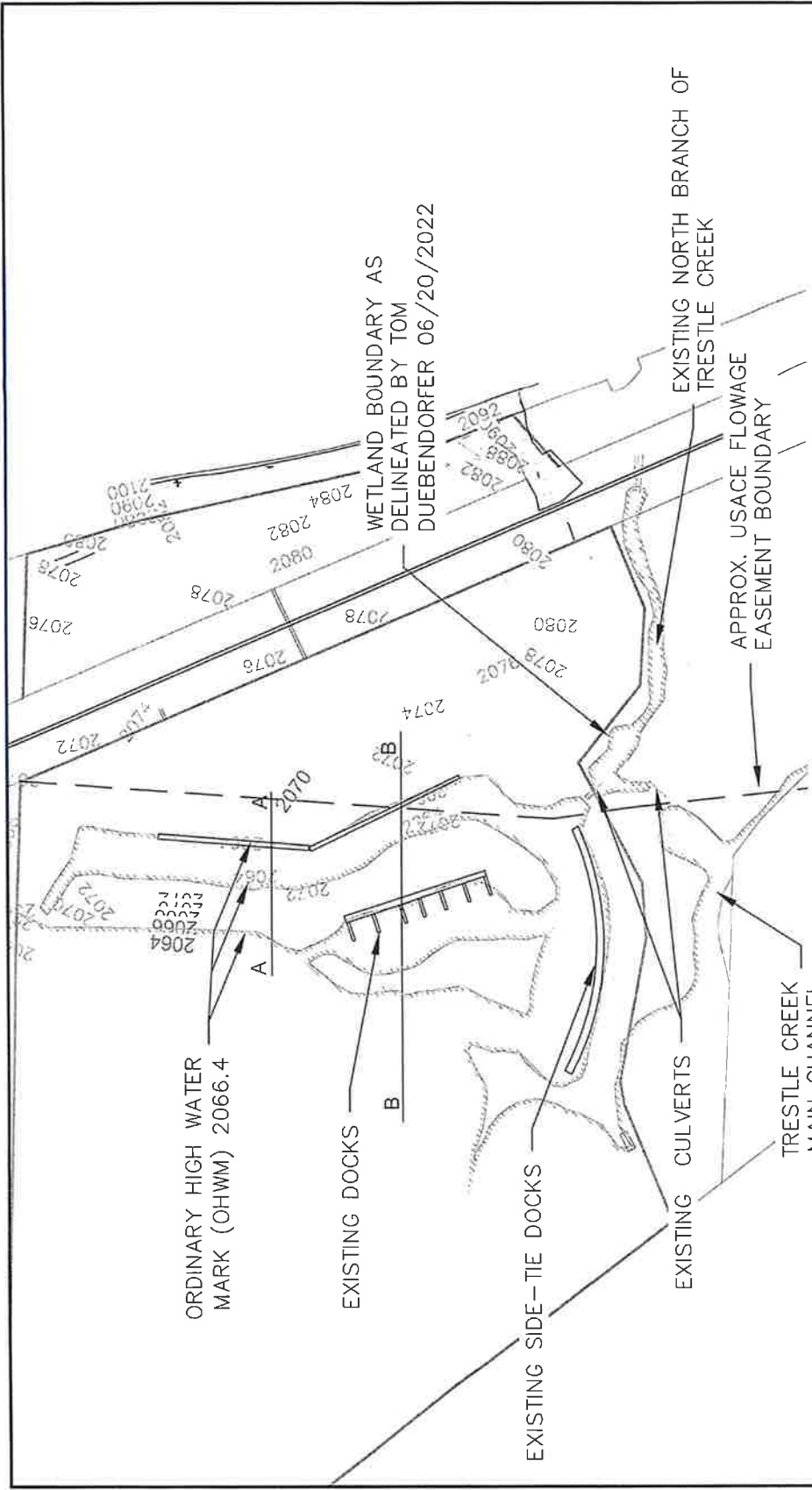
APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T. 57 N. R. 1 E, B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE:	VICINITY MAP
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	6/6/2023
SCALE:	AS SHOWN
DRAWN:	NCF
CHECKED:	NCF
PROJ. NO.:	BSB
22043-20-001	
CAD FILE:	
EVALUANT:	
SHT. 1 of 18	



NOT TO SCALE



DEPT OF LANDS



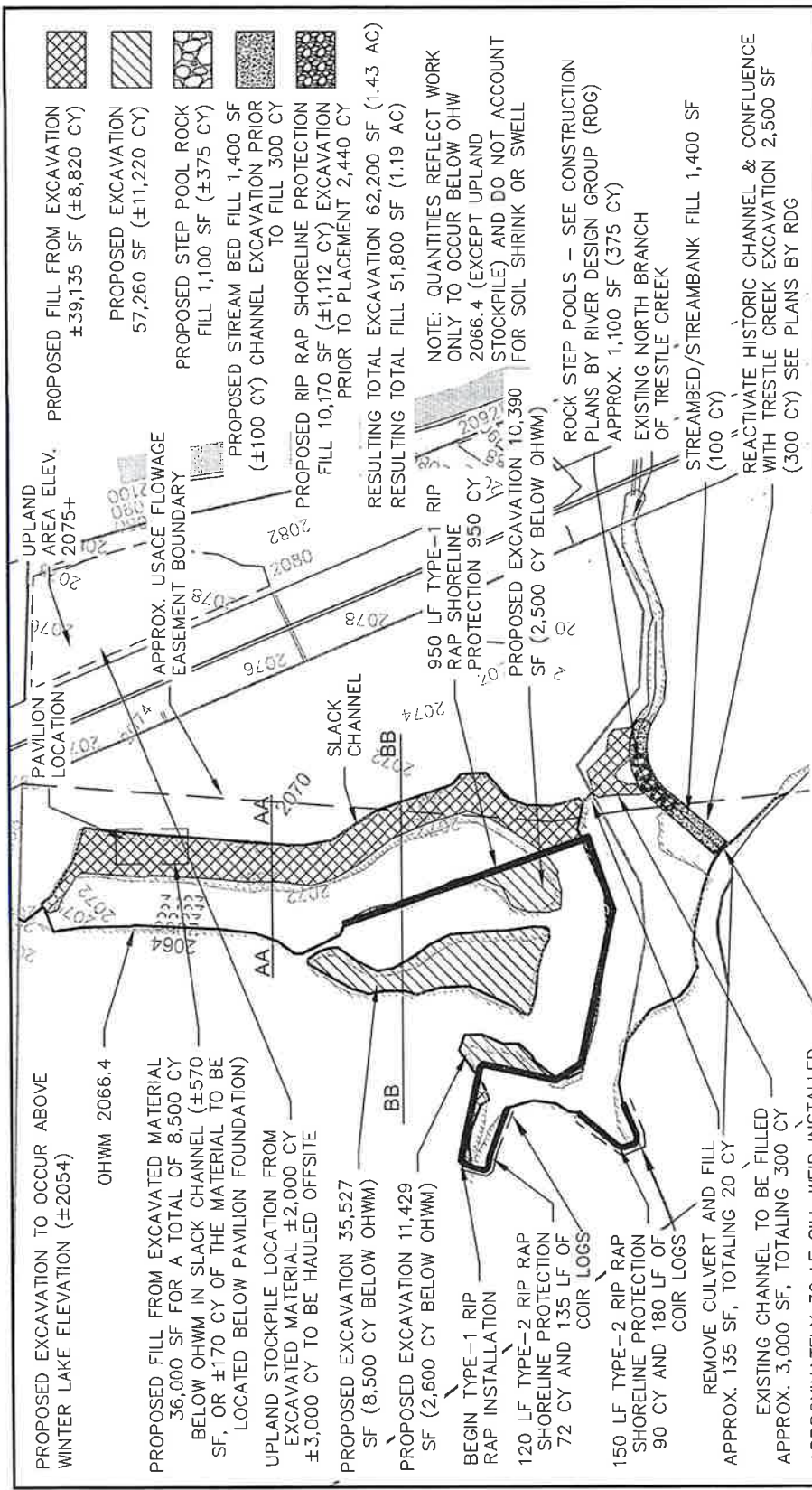
APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T. 57 N., R. 1 E., B. 1 M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-012-18
SHEET TITLE:	EXISTING SHORELINE CONDITIONS
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
UNIT:	06/01/2023
SCALE:	AS SHOWN
DRAWN:	NCF
CHECKED:	BSB
PROJ. NO.:	22045-20-001
CAD FILE:	EXIST.DWG
DATE:	
SHT. 2 of 16	






James A. Sewell and Associates, LLC
 1319 N. DIVISION
 SANDPOINT, IDAHO 83864, (208) 263-4160

SCALE IN FEET
 CONTOUR INTERVAL IS 2'
 DATUM: NAVD 88

NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS

DEPT OF LANDS



- 
 PROPOSED FILL FROM EXCAVATION
 ±39,135 SF (±8,820 CY)
- 
 PROPOSED EXCAVATION
 57,260 SF (±11,220 CY)
- 
 PROPOSED STEP POOL ROCK
 FILL 1,100 SF (±375 CY)
- 
 PROPOSED STREAM BED FILL 1,400 SF
 (±100 CY) CHANNEL EXCAVATION PRIOR
 TO FILL 300 CY
- 
 PROPOSED RIP RAP SHORELINE PROTECTION
 FILL 10,170 SF (±1,112 CY) EXCAVATION
 PRIOR TO PLACEMENT 2,440 CY
 RESULTING TOTAL EXCAVATION 62,200 SF (1.43 AC)
 RESULTING TOTAL FILL 51,800 SF (1.19 AC)

NOTE: QUANTITIES REFLECT WORK ONLY TO OCCUR BELOW OHW 2066.4 (EXCEPT UPLAND STOCKPILE) AND DO NOT ACCOUNT FOR SOIL SHRINK OR SWELL


ROCK STEP POOLS – SEE CONSTRUCTION PLANS BY RIVER DESIGN GROUP (RDG) APPROX. 1,100 SF (375 CY) EXISTING NORTH BRANCH OF TRESTLE CREEK


STREAMBED/STREAMBANK FILL 1,400 SF (100 CY)

REACTIVATE HISTORIC CHANNEL & CONFLUENCE WITH TRESTLE CREEK EXCAVATION 2,500 SF (300 CY) SEE PLANS BY RDG

- PROPOSED EXCAVATION TO OCCUR ABOVE WINTER LAKE ELEVATION (±2054)
- OHWM 2066.4
- PROPOSED FILL FROM EXCAVATED MATERIAL 36,000 SF FOR A TOTAL OF 8,500 CY BELOW OHWM IN SLACK CHANNEL (±570 SF, OR ±170 CY OF THE MATERIAL TO BE LOCATED BELOW PAVILION FOUNDATION)
- UPLAND STOCKPILE LOCATION FROM EXCAVATED MATERIAL ±2,000 CY ±3,000 CY TO BE HAULED OFFSITE
- PROPOSED EXCAVATION 35,527 SF (8,500 CY BELOW OHWM)
- PROPOSED EXCAVATION 11,429 SF (2,600 CY BELOW OHWM)
- BEGIN TYPE-1 RIP RAP INSTALLATION
- 120 LF TYPE-2 RIP RAP SHORELINE PROTECTION 72 CY AND 135 LF OF COIR LOGS
- 150 LF TYPE-2 RIP RAP SHORELINE PROTECTION 90 CY AND 180 LF OF COIR LOGS
- REMOVE CULVERT AND FILL APPROX. 135 SF, TOTALING 20 CY
- EXISTING CHANNEL TO BE FILLED APPROX. 3,000 SF, TOTALING 300 CY
- APPROXIMATELY 30 LF SILL WEIR INSTALLED TO IDAHO FISH & GAME SPECIFICATIONS

APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T.57 N. R.1 E. B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE:	PROPOSED SHORELINE CONDITIONS
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	06/01/2023
DRAWN:	AS SHOWN
CHECKED:	NCE
PROJ. NO.:	BSB
DATE:	2/20/23
EVALUATED:	
SHT. 3 OF 16	





SCALE IN FEET
CONTOUR INTERVAL IS 2'
DATUM: NAVD 88

NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS



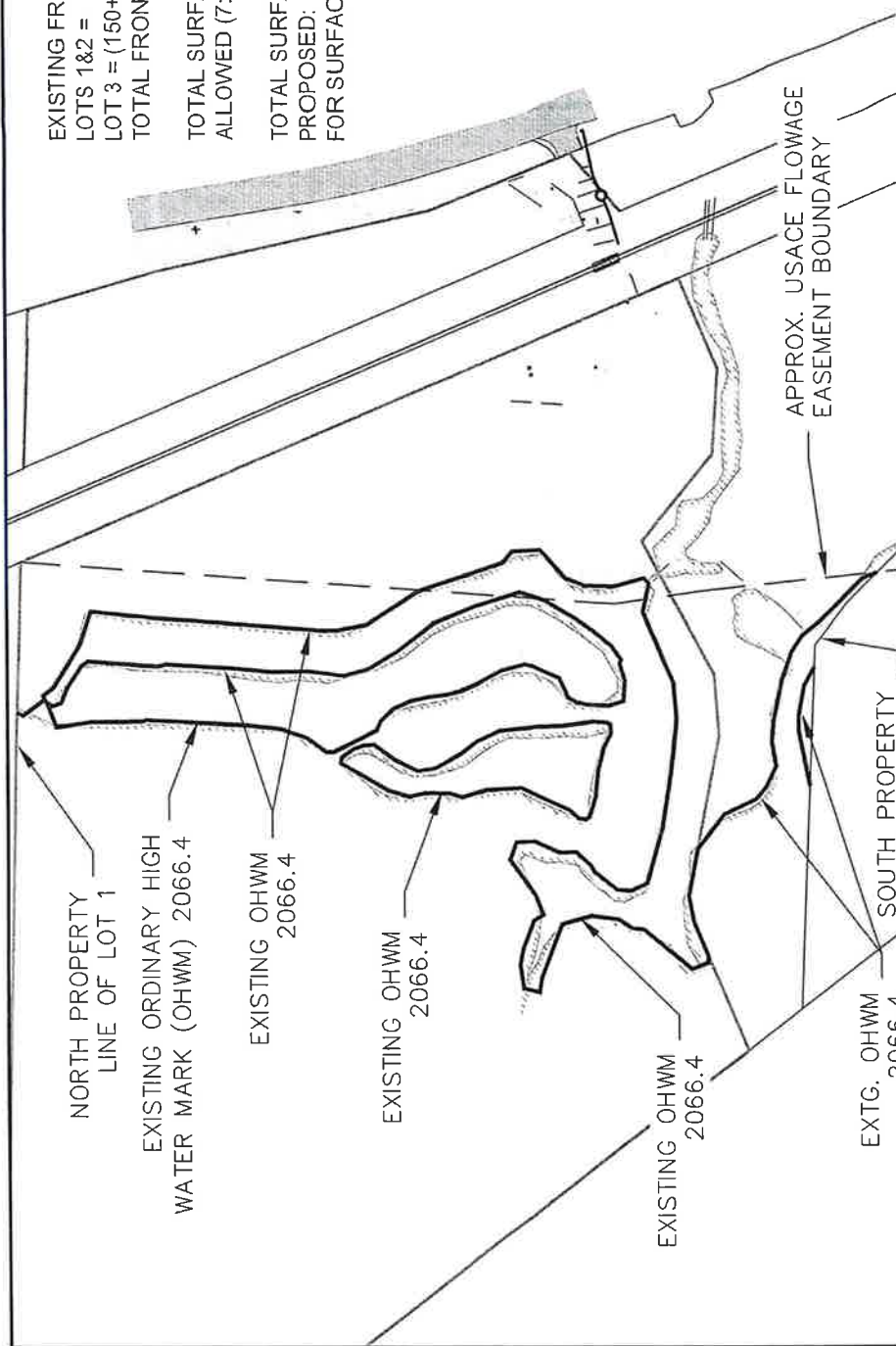
DEPT OF LANDS

JUN 14 2023

EXISTING FRONTAGE:
 LOTS 1&2 = 4,498 LF
 LOT 3 = (150+428) = 578 LF
 TOTAL FRONTAGE = 5,076 LF

TOTAL SURFACE AREA OF DOCKS
 ALLOWED (7:1): 35,530 SF

TOTAL SURFACE AREA OF DOCKS
 PROPOSED: 15,550 SF (SEE SHEET 10
 FOR SURFACE AREA BREAKDOWN)



APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T. 57 N., R. 1 E., B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-012-18
SHEET TITLE:	EXISTING FRONTAGE EXHIBIT
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	06/01/2023
SCALE:	AS SHOWN
CHECKED:	BSR
DESIGN:	NCF
PROJECT NO.:	22045-20-001
CLIENT:	James A. Sewell and Associates, LLC
EXAMINER:	1319 N. DIVISION SANDPOINT, IDAHO 83864, (208) 263-4160
SHEET NO. OF TOTAL SHEETS:	5 OF 16



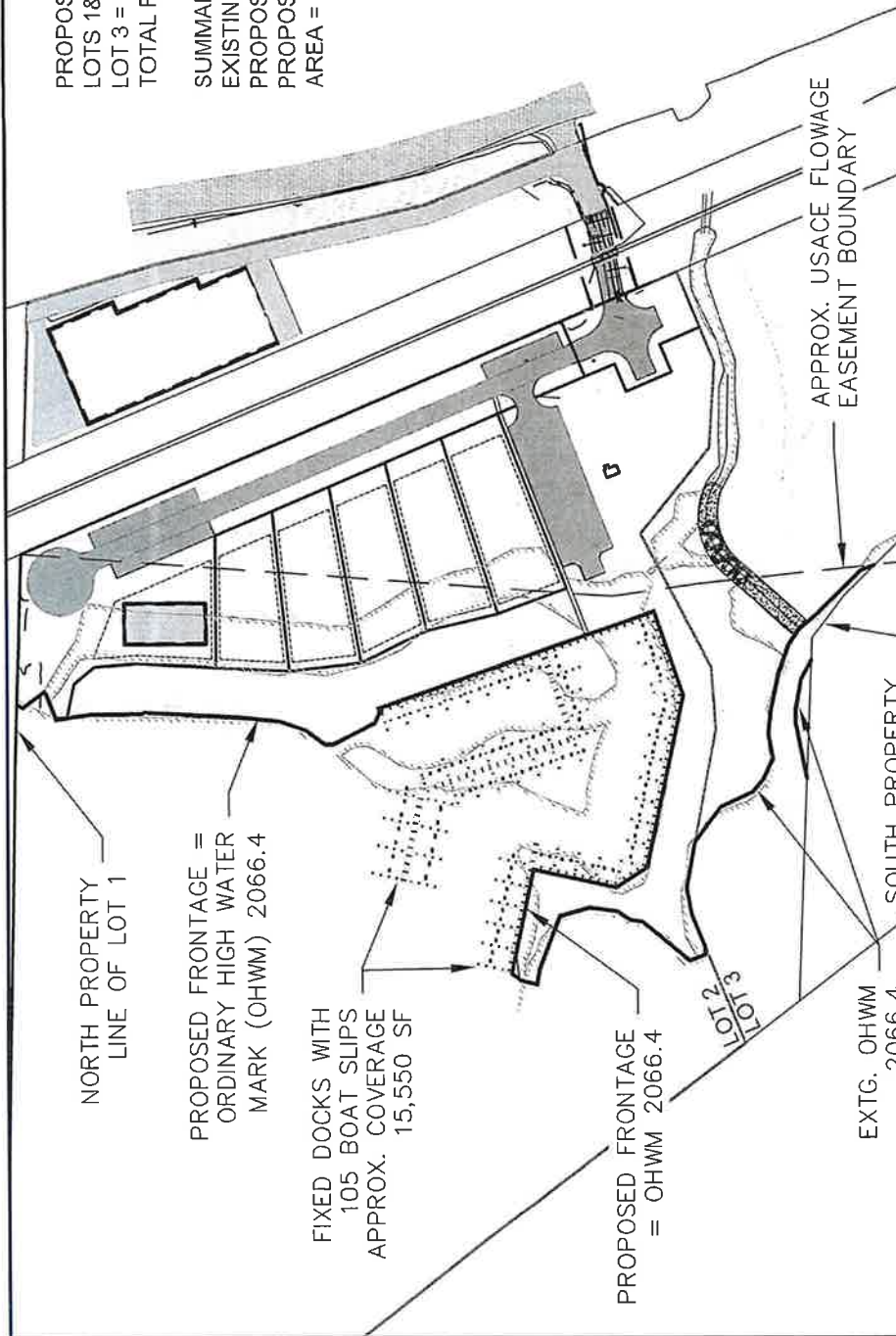
SCALE IN FEET
 CONTOUR INTERVAL IS 2'
 DATUM: NAVD 88



NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS

PROPOSED FRONTAGE:
 LOTS 1&2 = 1,936 LF
 LOT 3 = (150+428) = 578 LF
 TOTAL FRONTAGE = 2,514 LF

SUMMARY:
 EXISTING FRONTAGE = 5,076 SF
 PROPOSED FRONTAGE = 2,514 SF
 PROPOSED DOCK SURFACE
 AREA = 15,550 SF



APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T 57 N, R 1 E, B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE:	PROPOSED FRONTAGE EXHIBIT
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	08/01/2023
SCALE:	AS SHOWN
OWNER:	CHILDED
NOF:	BSR
PROJ. NO.:	22013-20-001
EXAMINER:	JAS
SHT. 6 OF 16	

James A. Sewell and Associates, LLC
 1319 N. DIVISION
 SANDPOINT, IDAHO 83864, (208) 263-4160

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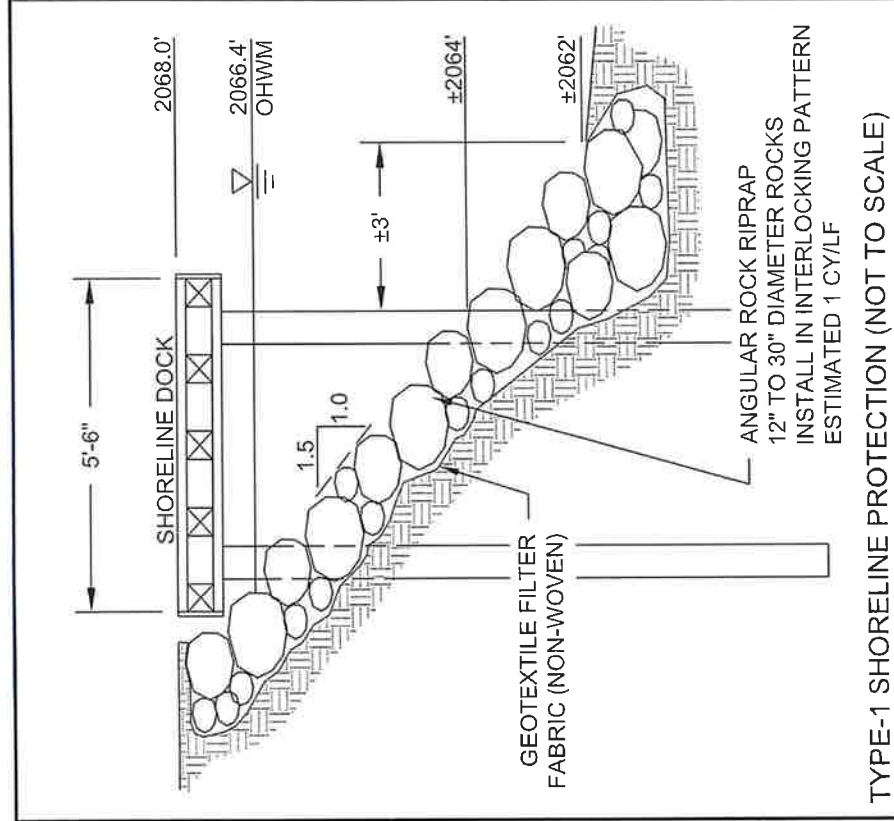
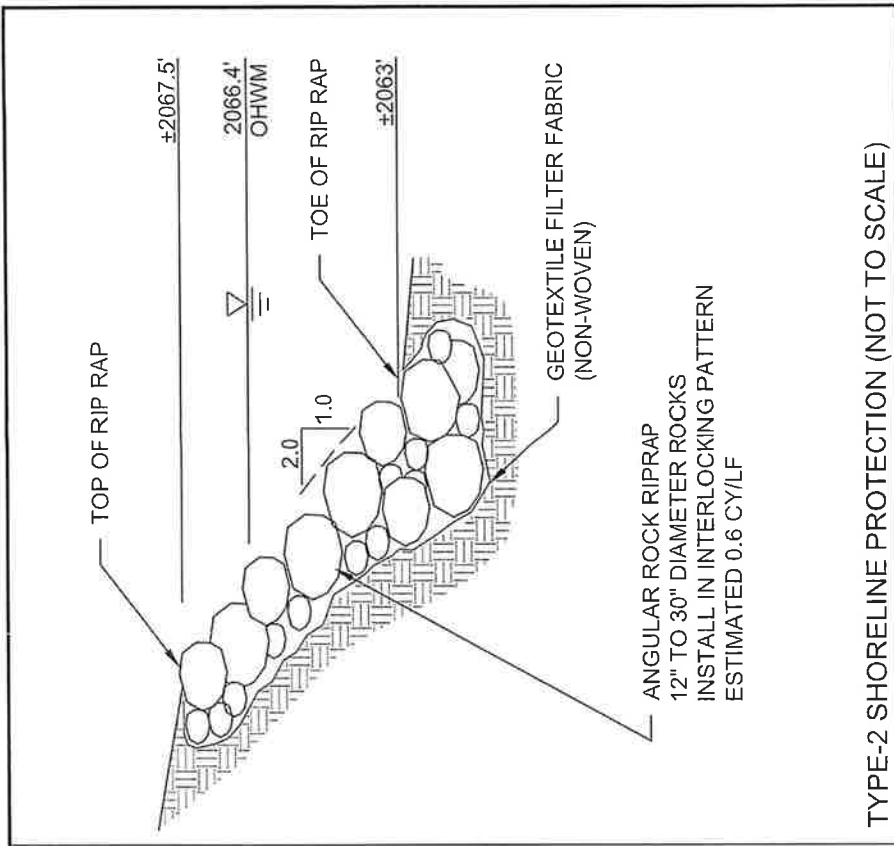
SCALE IN FEET
 CONTOUR INTERVAL IS 2'
 DATUM: NAVD 88

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DEPT OF LANDS

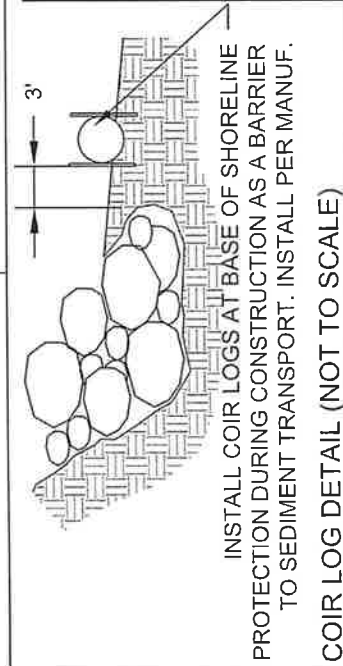
JUN 14 2023



TYPE-1 SHORELINE PROTECTION (NOT TO SCALE)

THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES - NOT FOR CONSTRUCTION

APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T 57 N, R 1 E, B. M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE	SHORELINE PROTECTION CROSS SECT.
PROJECT	IDAHO CLUB NORTH LAKE P. U. D.
DATE:	06/01/2023
DRAWN:	AS SHOWN
CHECKED:	RCF
PROJECT NO.:	BSR
CAD FILE:	22043-202-001
EVALUATOR:	
SHT. # OF 16	



TYPE-2 SHORELINE PROTECTION (NOT TO SCALE)

INSTALL COIR LOGS AT BASE OF SHORELINE PROTECTION DURING CONSTRUCTION AS A BARRIER TO SEDIMENT TRANSPORT. INSTALL PER MANUF.

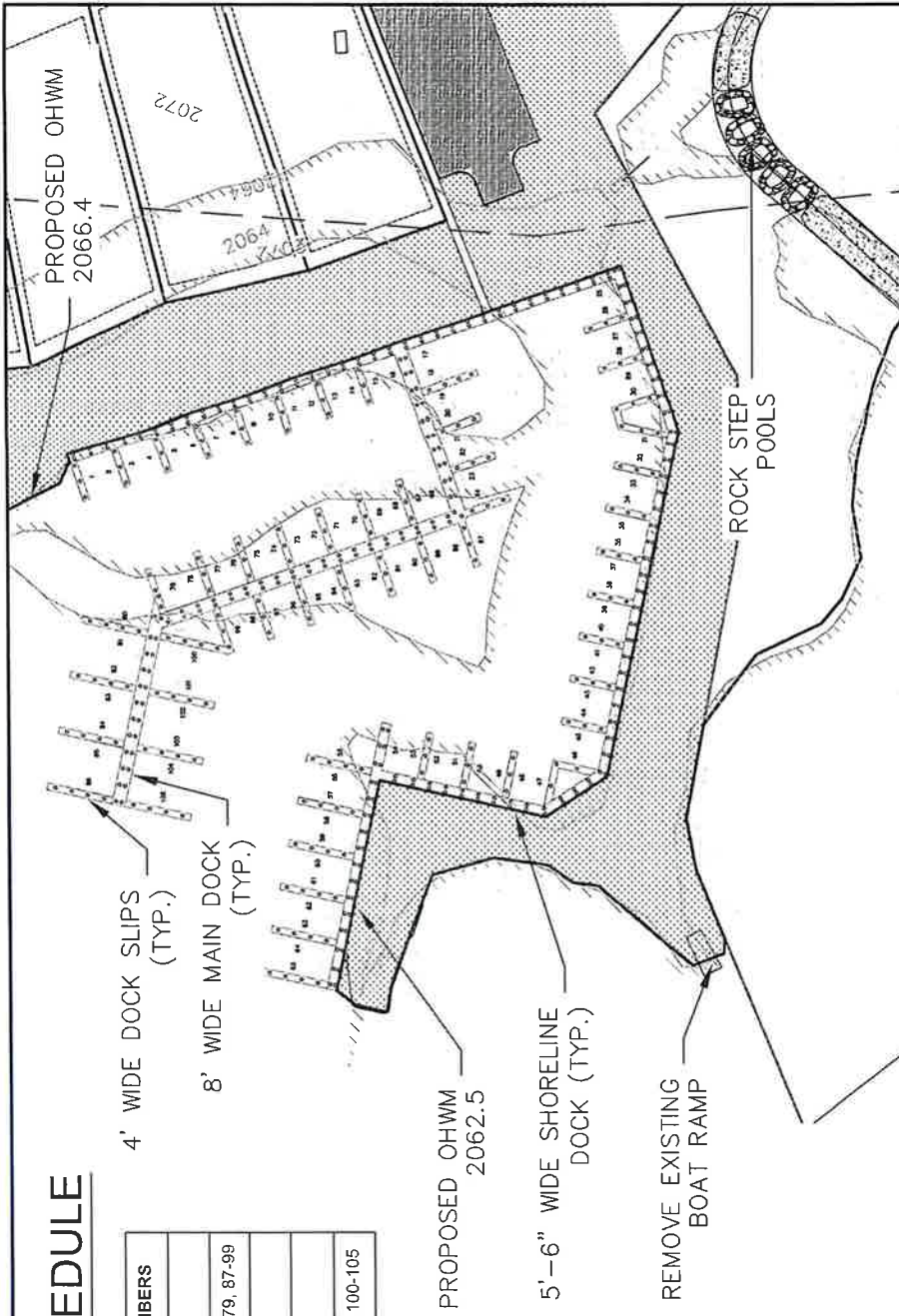
COIR LOG DETAIL (NOT TO SCALE)

DEPT OF LANDS

JUN 14 2023

BOAT SLIP SCHEDULE

SLIP LENGTH	TOTAL NO.	SLIP NUMBERS
24'	16 EACH	1-16
28'	63 EACH	19-54, 66-79, 87-99
35'	2 EACH	17-18
40' NARROW	10 EACH	56-65
40' WIDE	14 EACH	55, 80-86, 100-105



THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES - NOT FOR CONSTRUCTION



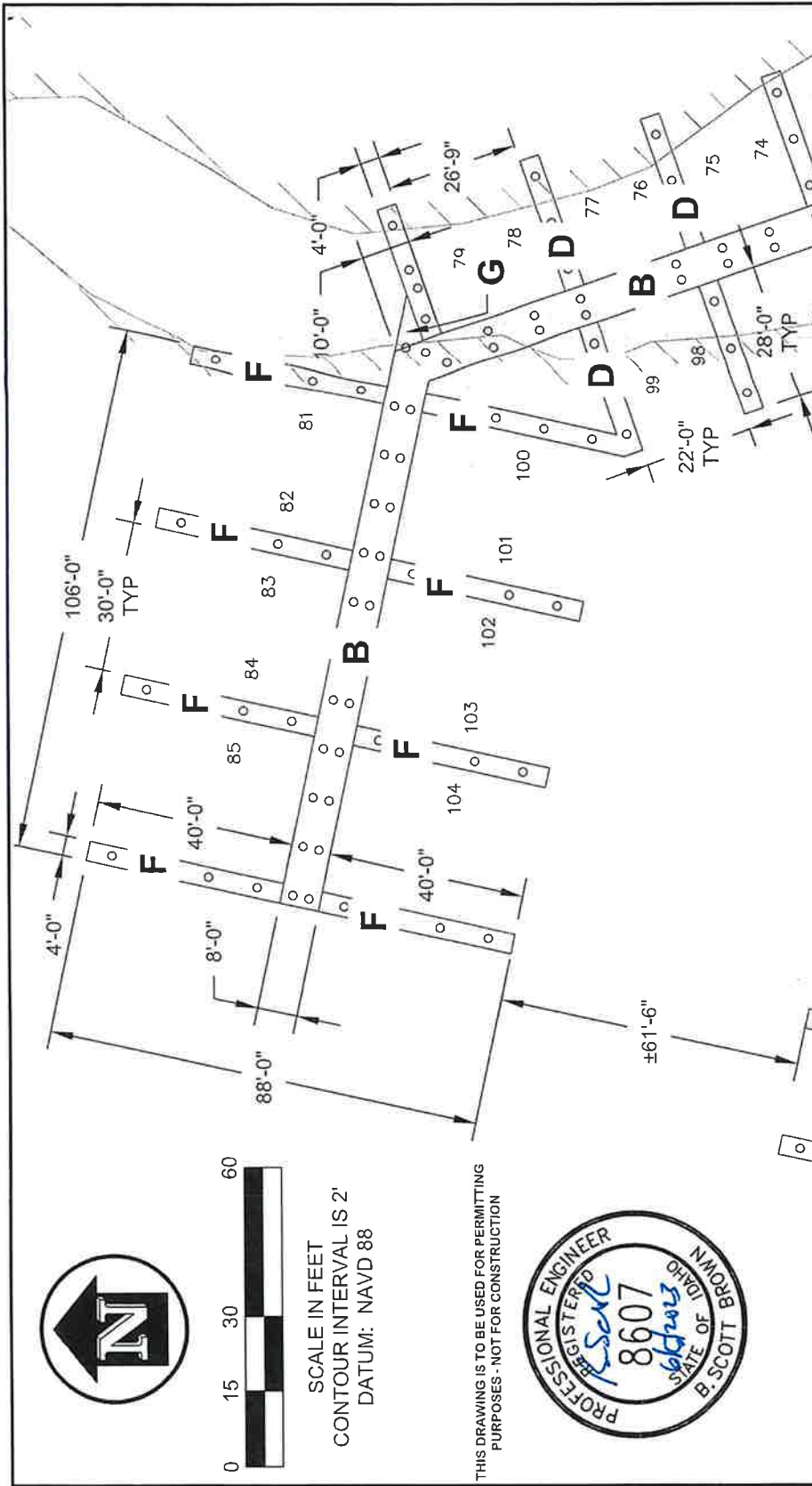
SCALE IN FEET
CONTOUR INTERVAL IS 2'
DATUM: NAVD 88

NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS



APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T57 N, R1 E, B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE:	PROPOSED DOCK PLANS
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	08/01/2023
DESIGNED BY:	JAS
DRAWN BY:	JAS
CHECKED BY:	NCE
PROJECT NO.:	ISSB
DATE:	2/20/20
EVALUATOR:	JAS
SHEET NO. OF:	16

James A. Sewell and Associates, LLC
1319 N. DIVISION
SANDPOINT, IDAHO 83864, (208) 263-4160



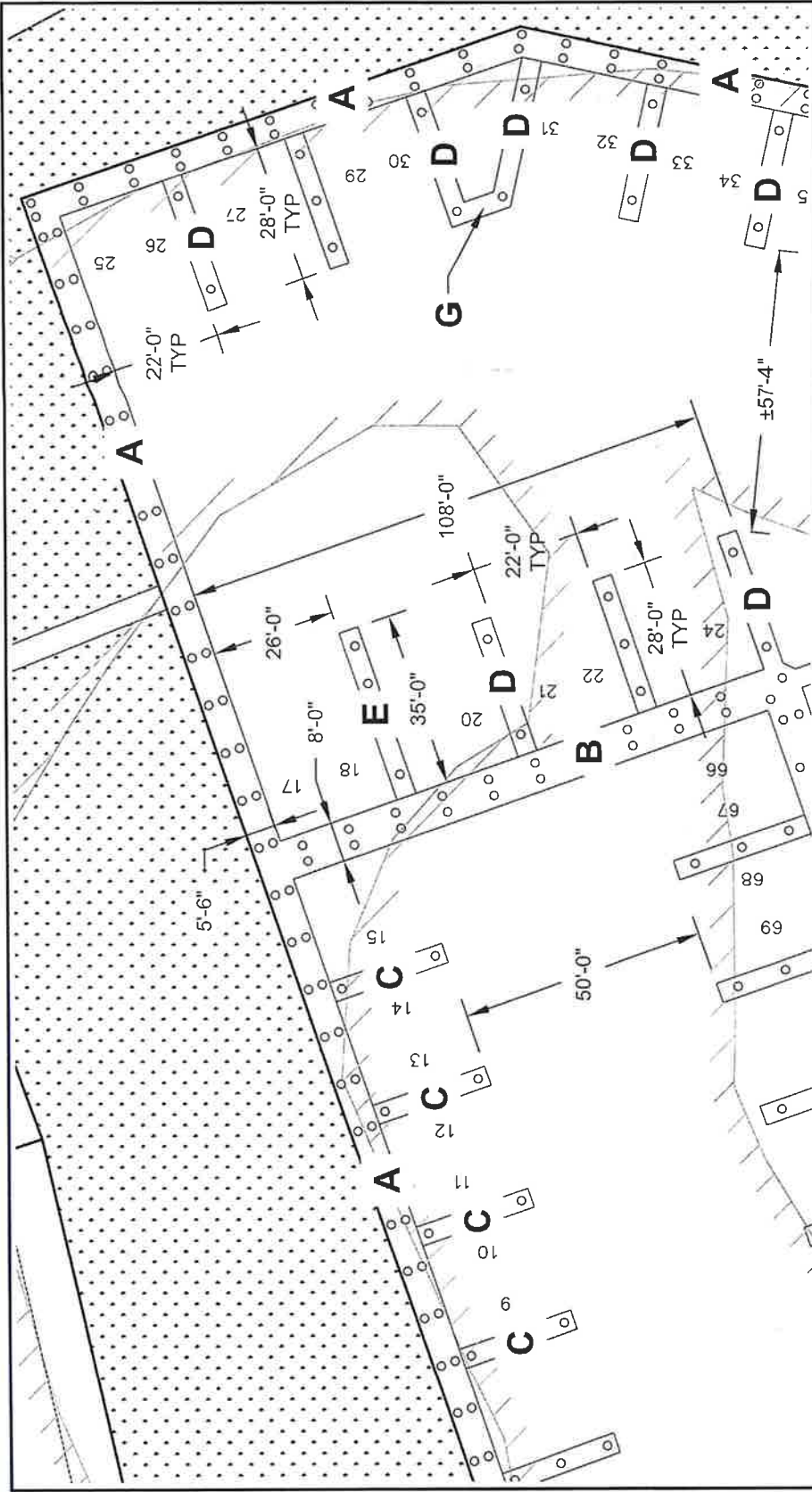
APPLICANT: VALIANT IDAHO II, LLC
 LOCATION: BONNER COUNTY, IDAHO SECTION 16 & 17, T. 57 N., R. 1 E., B. M.
 WATERBODY: LAKE PEND OREILLE
 DA NUMBER: NWW-2007-01218

SHEET TITLE: PROPOSED DOCK DIMENSIONS
 PROJECT: IDAHO CLUB NORTH LAKE P.U.D.
 DATE: 06/01/2023
 SCALE: AS SHOWN
 DRAWN: NCF
 CHECKED: BSB
 PROJECT NO: 20-001
 DRAWING NO: 20-001
 EVALUATOR: [Signature]
 SHT 11 of 16

James A. Sewell and Associates, LLC
 1319 N. DIVISION
 SANDPOINT, IDAHO 83864, (208) 263-4160

NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS

DOCK COVERAGE SUMMARY:		AREA	QTY	TOTAL
ID	DESCRIPTION	SF/EA	EA	AREA SF
A	5'-6" WIDE X ±974 LF SHORELINE DOCK	5,358	1	5,358
B	8'-0" WIDE X ±411 LF CENTER DOCK	3,291	1	3,291
C	4'-0" WIDE X 24 LF BOAT SLIP DOCK	96	8	768
D	4'-0" WIDE X 28 LF BOAT SLIP DOCK	112	33	3,696
E	4'-0" WIDE X 35 LF BOAT SLIP DOCK	140	1	140
F	4'-0" WIDE X 40 LF BOAT SLIP DOCK	160	14	2,240
G	MISCELLANEOUS SURFACE	57		57
TOTAL PROPOSED COVERAGE (SF):				15,550



DATE	06/01/2023
DRAWN BY	AS SHOWN
CHECKED BY	NCE
PROJECT	IDAHO CLUB NORTH LAKE P.U.D.
APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T. 57 N. R. 1 E. B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE:	PROPOSED DOCK DIMENSIONS
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DESIGNED BY	James A. Sewell and Associates, LLC
PROJECT NO.	1319 N. DIVISION
DATE	2204/26/003
SCALE	AS SHOWN
EVALUATED BY	AS SHOWN
DATE	06/01/2023
SHEET NO.	13 of 16



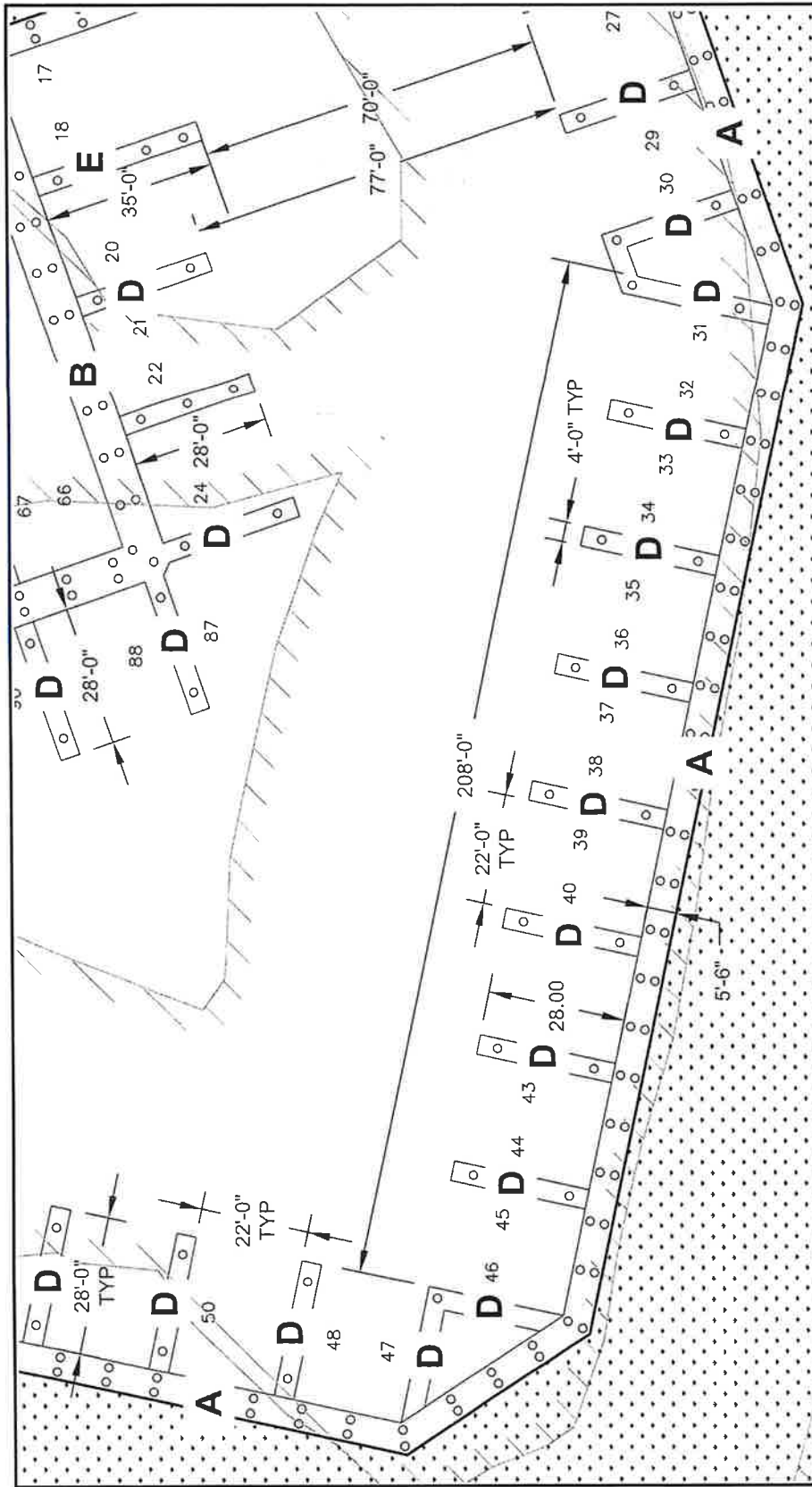
NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS

THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES - NOT FOR CONSTRUCTION



DEPT OF LANDS

JUN 14 2023



APPLICANT:	VALLIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T. 57 N. R. 1 E. B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE:	PROPOSED DOCK DIMENSIONS
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	06/01/2023
SCALE:	AS SHOWN
DRAWN:	NCE
CHECKED:	NCE
ISSUED:	RSB
PROJECT NO.:	2204520-001
DRAWN BY:	RSB
EVALUATED:	
SHEET:	14 of 15

James A. Sewall and Associates, LLC
 1319 N. DIVISION
 SANDPOINT, IDAHO 83864, (208) 263-4160

THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES - NOT FOR CONSTRUCTION



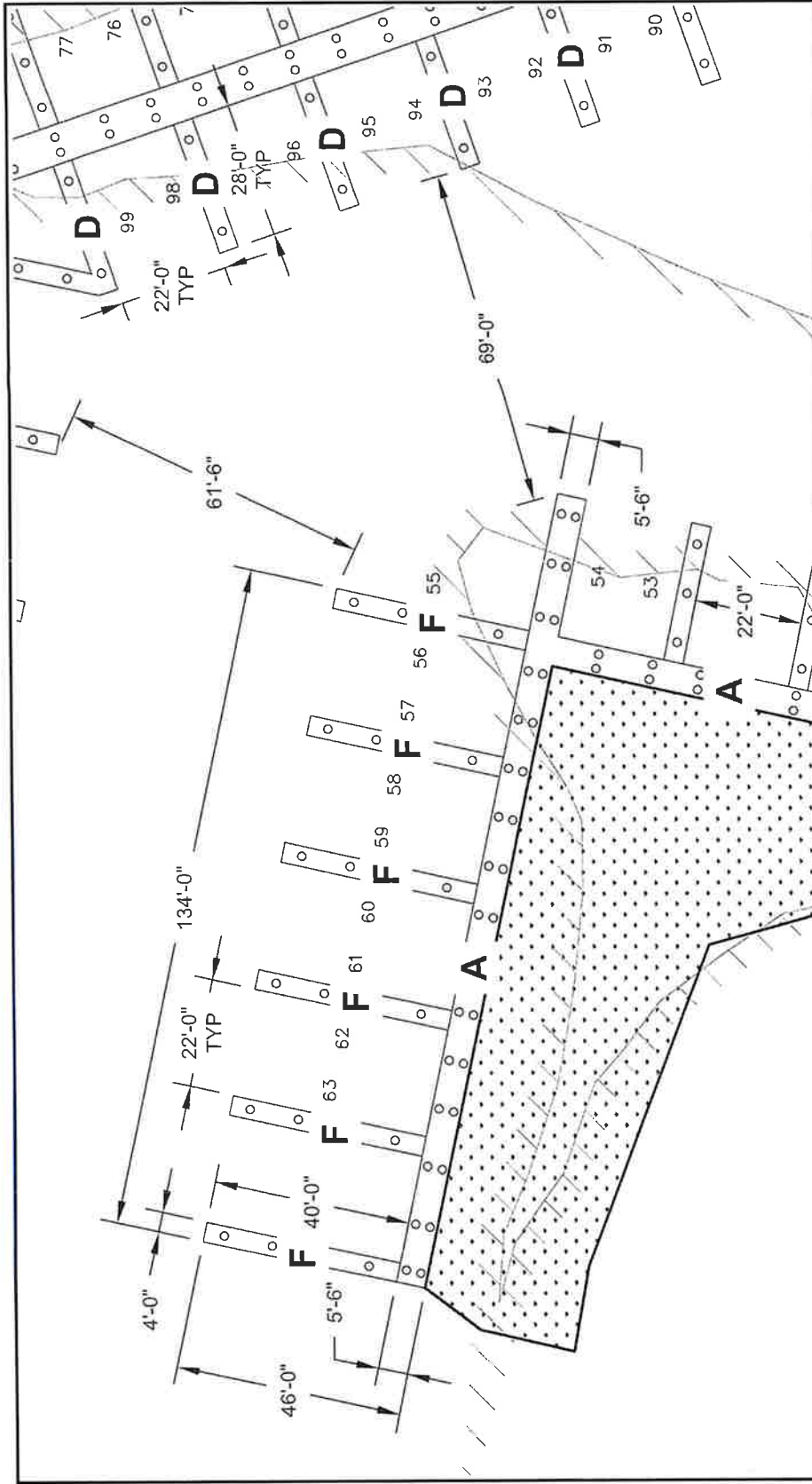
SCALE IN FEET
 CONTOUR INTERVAL IS 2'
 DATUM: NAVD 88



NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS

DEPT OF LANDS

JUN 14 2023



APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T. 57 N., R. 1 E. B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-01218
SHEET TITLE	PROPOSED DOCK DIMENSIONS
PROJECT	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	06/01/2023
DESIGNED BY:	A.S. SHOWN
CHECKED BY:	NCF
SCALE:	AS SHOWN
PROJECT NO.:	22045-20-001
DATE PLOTTED:	6/15/23
BY:	F. VALIANT
SHEET NO.:	15 of 16

James A. Sewell and Associates, LLC
 1319 N. DIVISION
 SANDPOINT, IDAHO 83864, (208) 263-4160

THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES - NOT FOR CONSTRUCTION



SCALE IN FEET
 CONTOUR INTERVAL IS 2'
 DATUM: NAVD 88

NOTE: ALL ELEVATIONS, CONTOUR LINES, AND ORIGINAL HIGH WATER MARK DEPICTED IN THIS DRAWING IS PER 2017 TOPOGRAPHIC SURVEY PREPARED BY WELCH-COMER ENGINEERS AND SURVEYORS



DEPT OF LANDS

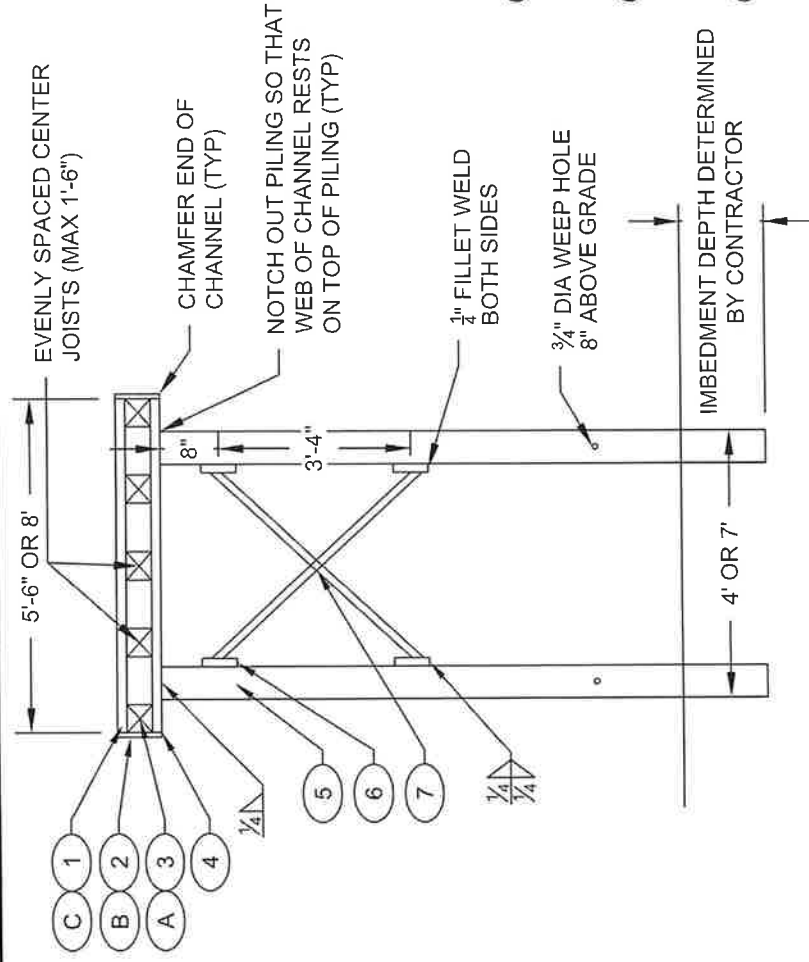
JUN 14 2023

MATERIAL LEGEND

- ① LIGHT PENETRATING DECKING
- ② 2 X 8 CEDAR FACIA BOARD
- ③ 4 X 8 JOISTS
- ④ C 8 X 11.5 STEEL CHANNEL
- ⑤ 10" DIA STEEL PILING (WALL: 3/16" - 3/8")
- ⑥ 4" X 8" X 1/4" STEEL PLATE
- ⑦ L 2" X 2" X 1/4" STEEL ANGLE

FASTENER LEGEND

- Ⓐ JOISTS TO STEEL: 1/2" X 8" GALV. BOLTS WITH WASHERS AND NUTS THROUGH DRILLED HOLES AT EACH BEARING. RECESS BOLT HEADS IN JOISTS.
- Ⓑ FACIA: TWO 16D COMMON DRIVE SCREWS EVERY 12" ALONG JOISTS AND EVERY CROSS TIE BEARING. SPACE NAILS 1 1/2" FROM END OF FACIA.
- Ⓒ DECKING: THREE 16D COMMON DRIVE SCREWS PER BEARING. SPACE 1 1/2" FROM END AND 3/4" FROM EDGE OF DECK BOARDS.



NOT TO SCALE

APPLICANT:	VALIANT IDAHO II, LLC
LOCATION:	BONNER COUNTY, IDAHO SECTION 16 & 17, T 57 N, R 1 E, B.M.
WATERBODY:	LAKE PEND OREILLE
DA NUMBER:	NWW-2007-07218
SHEET TITLE:	STRUCTURAL DETAILS - DOCK
PROJECT:	IDAHO CLUB NORTH LAKE P.U.D.
DATE:	06/01/2023
DRAWN:	AS, SHODWIN
CHECKED:	NCF
DESIGNED:	RSB
PROJECT NO.:	22043-20-001
CAPITAL:	EVALUANT
SHT:	15 of 16

James A. Sewell and Associates, LLC
1319 N. DIVISION
SANDPOINT, IDAHO 83864, (208) 263-4160

- NOTES:
- ALL DOCKS SHALL HAVE A LEVEL DECK THAT IS 1'-6" ABOVE THE HIGH WATER LEVEL
 - ALL DIMENSIONAL LUMBER (EXCEPT FACIA BOARD AND DECKING) SHALL BE DOUG FIR/SOUTHERN PINE, GRADE-NO.2 OR BETTER, PRESSURE TREATED WITH WATERBORNE SALT-CCA, TO A RETENTION LEVEL OF .40pct (SWPB-LP22). FACIA BOARD AND DECKING SHALL BE CEDAR, GRADE-NO.2 OR BETTER.
 - ALL SCREWS SHALL HAVE A RUST PROOF FINISH SUCH AS HOT-DIP GALVANIZED ALUMINUM OR STAINLESS STEEL. ALL OTHER FASTENERS, INCLUDING LAG BOLTS, MACHINE BOLTS, WASHERS AND NUTS SHALL HAVE A SIMILAR RUST PROOF FINISH.

THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES - NOT FOR CONSTRUCTION

EXHIBIT B

PURPOSE & NEED STATEMENTS

Statement of Purpose:

To provide a medium-sized marina with an adjacent boat and recreational vehicle storage facility, and waterfront single family lots, on Lake Pend Oreille within reasonable proximity to and operated in conjunction with The Idaho Club recreational and residential community, and to serve significant local and regional market demand for such uses that affords Applicant with a reasonable use of its real property.

Statement of Need:

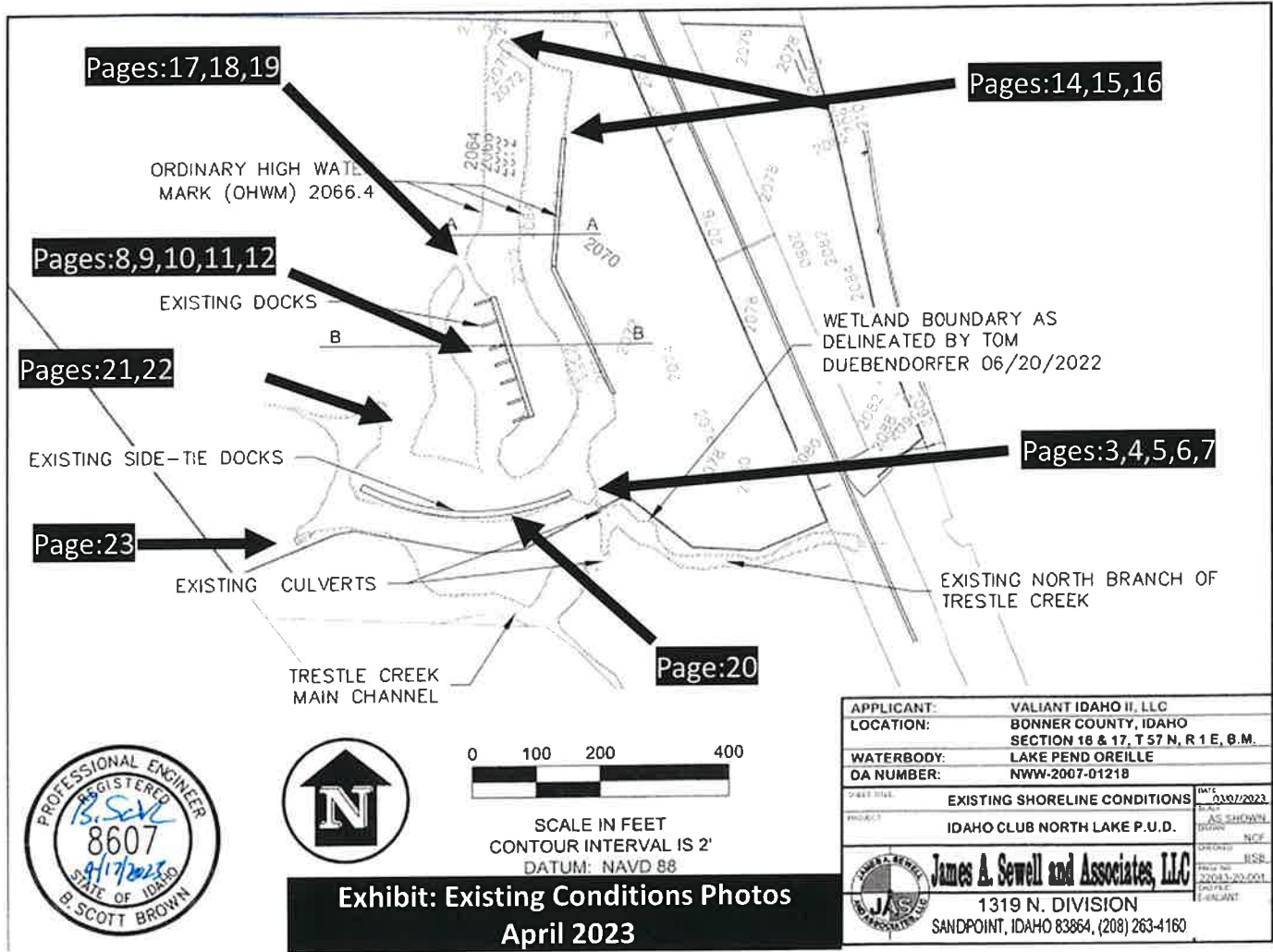
The need to excavate and fill within Waters of the U. S. as part of the project scope includes: (1) eliminating a substantial safety hazard, and related potential legal liability to the Applicant, by removing dilapidated and dangerous old docks, boardwalks, bridges and other man-made features that prevent the safe and reasonable use of the Applicant's property; (2) protecting and stabilizing the existing banks for the safe and reasonable use of Applicant's property; (3) removing a hanging culvert and man-made rock feature that is a safety hazard as well as detrimental to migrating fish, including bull trout; (4) restoring the North Branch of Trestle Creek to its natural configuration to improve the aquatic habitat for bull trout; and, (5) removing a dilapidated, unsafe and unsecured existing boat ramp that is located in close proximity to the mouth of Trestle Creek.

Existing Site Conditions:

The following photographic summary shows the existing conditions as of April 2023, including: (1) the hanging culvert and culvert barrier; (2) hazardous boardwalk and docks; (3) hazardous walking bridges; (4) the slack water inlet and limited and impeded outlets; (5) failing retaining walls and hazardous unstable banks; (6) a beaver damn that impedes the natural water flows and negatively impacts the aquatic habitat of the bull trout; and, (7) the hazardous and unsecured boat ramp in close proximity to the mouth of Trestle Creek.

DEPT OF LANDS

JUN 14 2023



**Exhibit: Existing Conditions Photos
April 2023**

DEPT OF LANDS

JUN 14 2023



Overview Existing Conditions April 2023

NBTC Hanging Culvert
Existing Conditions April 2023

2

DEPT OF LANDS

JUN 14 2023



NBTC Hanging Culvert
Existing Conditions April 2023

North Branch Trestle Creek -Existing Conditions April 2023

DEPT OF LANDS

JUN 14 2023

NBTC Hanging Culvert
Existing Conditions April 2023



North Branch Trestle Creek Hanging Culvert Barrier
Existing Conditions April 2023

DEPT OF LANDS

JUN 14 2023

NBTC Hanging Culvert
Existing Conditions April 2023



North Branch Trestle Creek Hanging Culvert Barrier
Existing Conditions April 2023

DEPT OF LANDS

JUN 14 2023

NBTC Hanging Culvert Inflow
Existing Conditions April 2023

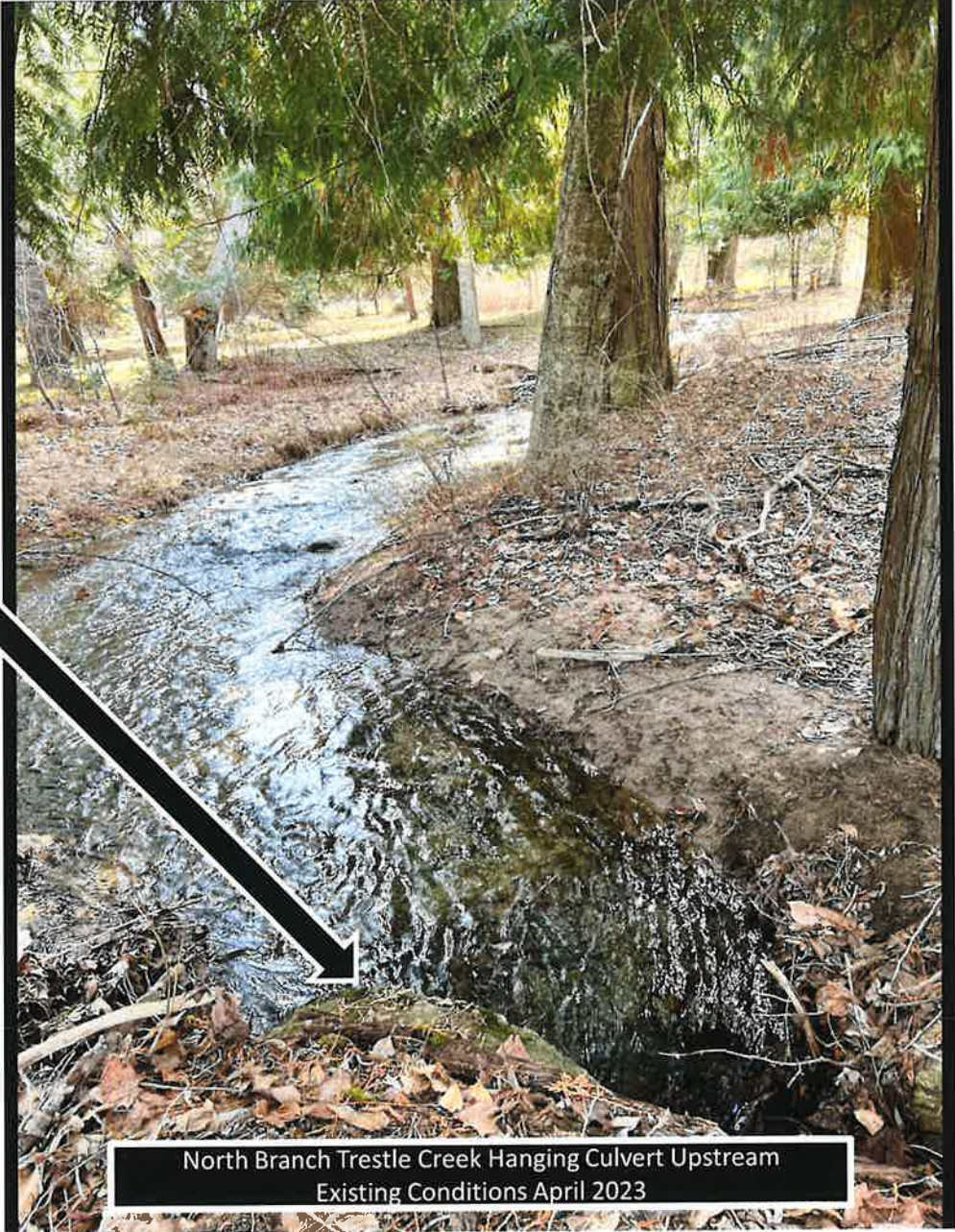


North Branch Trestle Creek Hanging Culvert Upstream
Existing Conditions April 2023

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**NBTC Hanging Culvert Inlet
Existing Conditions April 2023**



**North Branch Trestle Creek Hanging Culvert Upstream
Existing Conditions April 2023**

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Hazardous Docks & Boardwalk
Existing Conditions April 2023

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Hazardous Docks & Boardwalk
Existing Conditions April 2023

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Hazardous Docks & Boardwalk
Existing Conditions April 2023

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Hazardous Docks & Boardwalk
Existing Conditions April 2023

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Hazardous Bridge to Island
Existing Conditions April 2023

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Hazardous Boardwalk
Existing Conditions April 2023

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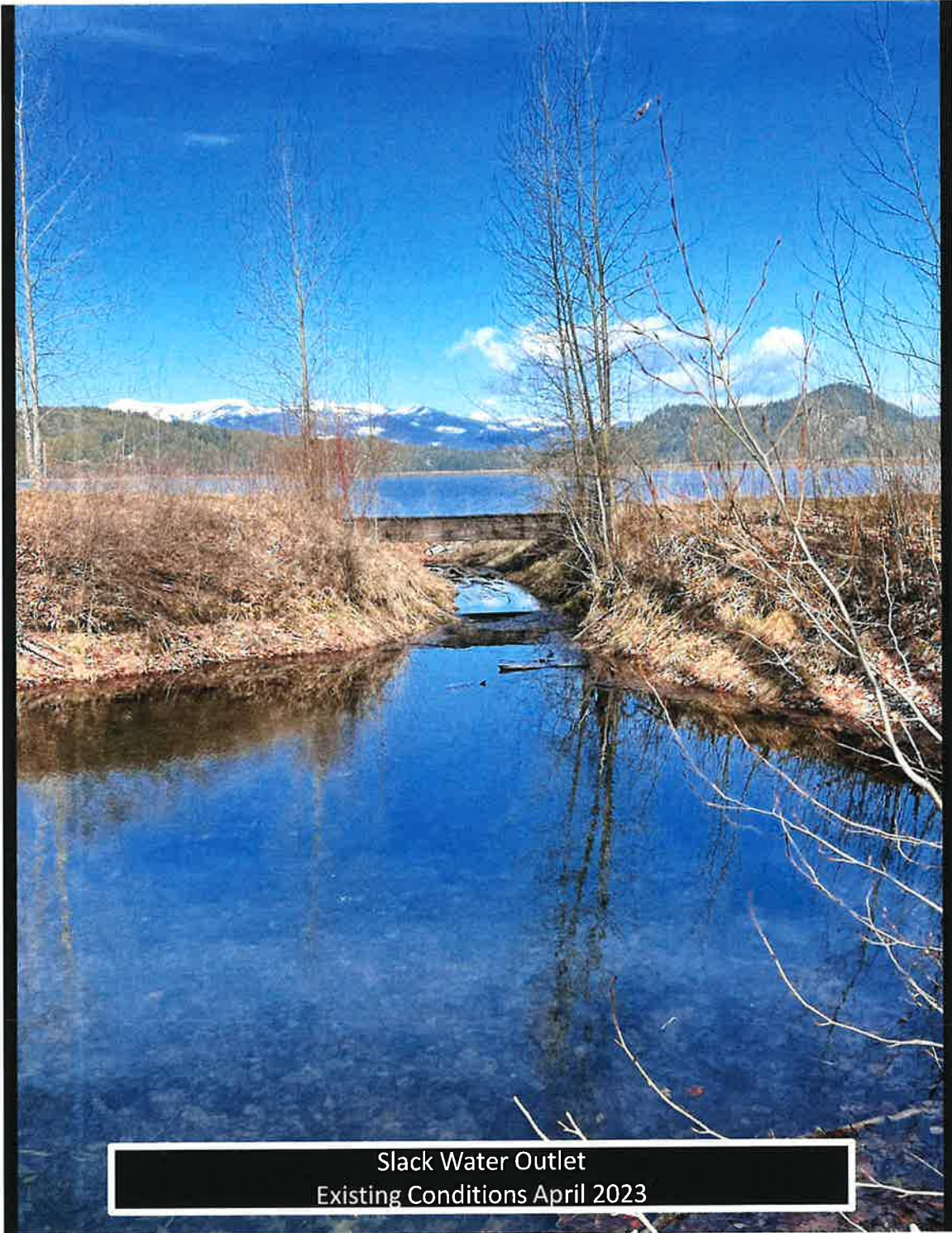
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Hazardous Boardwalk
Existing Conditions April 2023

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Slack Water Outlet
Existing Conditions April 2023

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Slack Water Outlet
Existing Conditions April 2023

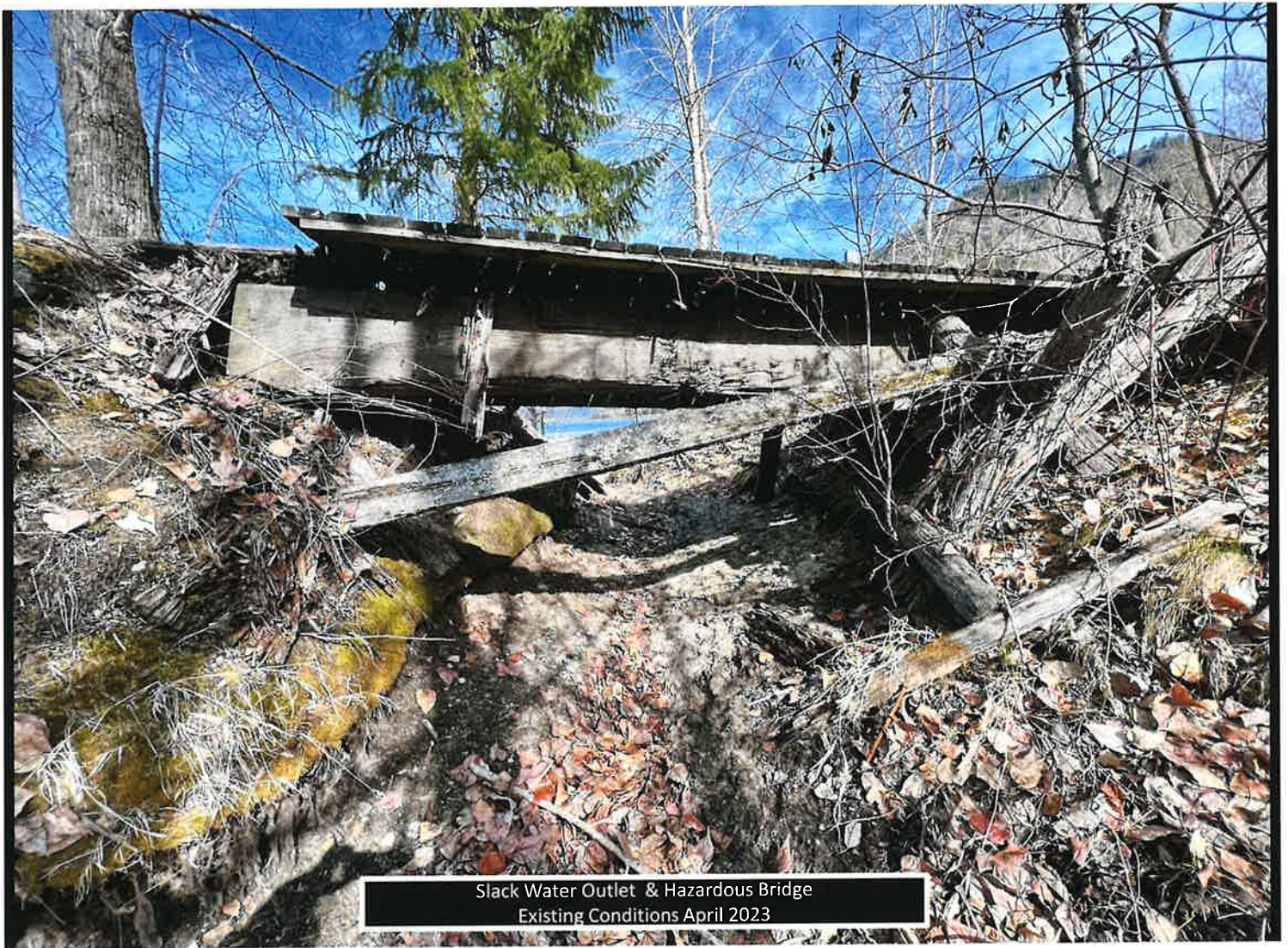
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Slack Water Outlet & Hazardous Bridge
Existing Conditions April 2023

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Failing Railroad Tie Retaining Wall
Existing Conditions April 2023

Hazardous Boardwalk and Railroad Tie Retaining Wall
Existing Conditions April 2023

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Beaver Dam
Existing Conditions April 2023

Beaver Dam Impoundment
Existing Conditions April 2023

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Boat Ramp
Existing Conditions April 2023

Boat Ramp
Existing Conditions April 2023

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EXHIBIT C

MITIGATION STATEMENT & ALTERNATIVES ANALYSIS

Avoidance of Impacts to Waters of the U. S. Including Wetlands:

The following describes how the Applicant will avoid impacts to Waters of the U. S., including wetlands, to the maximum extent practical, resulting in the least environmentally damaging reasonable alternative for the highest and best utilization of the site. The proposed project involves the placement of fill in previously disturbed and degraded areas throughout the site including, but not limited to, a man-made redirection of the North Branch of Trestle Creek and a man-made slack water channel that has fallen into disrepair and become a hazard resulting in potential legal liability to the Applicant. Only the minimum amount of fill necessary to provide erosion protection and eliminate the man-made hazards would be placed into wetlands and Waters of the U. S. Further, nearly all of the fill would result in the reclamation and protection of the original natural uplands that appear to have been heavily altered in part by the construction and operation of the Albeni Falls Dam in 1952.

Complete avoidance of wetland impacts is not feasible, due to Waters of the U. S. being located along the property shoreline and the desire by Applicant, to: (1) provide maximum protection to the existing shoreline from wave action and erosion; (2) completely eliminate the existing hazardous conditions present, and related potential legal liability, due to the deteriorated and unsafe boardwalks, docks, foot bridges and other man-made structures; and, (3) reactivate the historic channel and flows of the North Branch of Trestle Creek by filling the unnatural and undesirable channel diversion which currently exists.

The proposed actions to eliminate hazardous areas, and improve the degraded habitat and shoreline protection, are to be performed within or adjacent to Waters of the U. S., and as a result, the actions are unavoidable and represent mitigation of historical and existing adverse conditions.

Minimization of Unavoidable Impacts to Waters of the U. S. Including Wetlands:

The following describes how the project design incorporates measures that minimize the unavoidable impacts to Waters of the U. S., including wetlands and stream channels, by limiting fill discharges to the minimum volume necessary to achieve the project purpose.

To minimize the impacts of placing the shoreline erosion protection, riprap along with native regenerative plants and seeding were selected as materials of choice to ensure durability, enhance the aquatic resources and to protect water quality.

Riprap was also chosen to reduce the impact on fish in area.

Other materials considered included sheet pile, concrete walls, bin walls, MSE walls and gabions.

The total fill necessary to redirect the North Branch of Trestle Creek channel has been minimized based on the design considerations provided by River Design Group. Closing the historical man-made diversion in this area requires fill and armoring to prevent the potential of future channel migration. Filling of the slack water inlet and removing the overwater man-made structures will reduce or eliminate a current habitat that is supportive of warm water predator fish species, and is also undesirable due to the existence of a hanging, elevated culvert which serves as a barrier to fish migration and may increase mortality of juvenile fish entering the lake during low water periods.

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Other fill areas have been designed so that minimum fill volume can be used to eliminate the hazardous existing conditions and reduce the potential legal liability to the owners, achieve stable and safe lakeshore access and to avoid dramatic, unsafe slopes to the lake. A new shoreline will be established with rock toe and the stabilized portions of the existing shoreline, using approximately 8,820 cubic yards of excavated materials and 1,590 cubic yards of riprap. The combined project activity — including inlet dredging and removal of the island will increase the total of the lake surface by over one (1) acre. In total, the excavated materials exceed the proposed fill materials and thus should qualify as onsite mitigation and enhancement. Further, the filling of the slack water inlet area will reduce stagnate water and eliminate an area with a limited exit to the lake that will result in lower water temperatures, reduced habitat for aquatic invasive species, reduced aquatic predator habitat and provide other beneficial exposure to the area from historical, natural lake currents.

Construction Related Impacts To Be Minimized:

Construction related impacts will be minimized by restricting the use of heavy equipment in wetlands and by including the implementation of the following Best Management Practices:

The North Branch of Trestle Creek will be diverted out of the marina prior to work in the marina commencing to avoid in-water work.

Infrastructure will be removed and disposed of in an upland site outside of bull trout critical habitat.

Sediment fencing will be installed at three foot (3') and ten foot (10') intervals from the furthest extent of excavation and along the top of embankments not being excavated to avoid sediment from entering the lake or creek.

Materials will be stockpiled at least one hundred feet (100') inland of the work area and allowed to drain into the well-drained soils prior to removal or redeployment throughout the site as needed.

Vehicles and equipment will be limited to designated, established paths outside of areas proposed for excavating and filling, limiting potential sediment mobilization.

Excavated materials that will be used to fill the man-made channel in the inlet have been tested for contaminants and none were found.

To prevent sediment mobilization, upon project completion, walkways and landscaping will not be left bare, and fill will be capped with riprap.

Equipment will be cleaned prior to arrival on site.

Riprap will be free of fines and keyed into the shoreline banks and toes.

A rock construction entrance for equipment and sediment fencing down-grade of all disturbed ground will be installed prior to construction.

Sediment and erosion control structures will be fully functional before land disturbance occurs on the site.

Paved roadways will be swept at the end of each workday, and watered when necessary, to minimize dust.

Disturbed ground will be reseeded and stabilized with native grasses and vegetation adapted to the project area, while preserving existing vegetation whenever possible.

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Compensation for Unavoidable Impacts to Waters of the U. S. Including Wetlands:

The following describes proposed compensatory mitigation to offset unavoidable impacts to Waters of the U. S., and why compensatory mitigation is not appropriate or practicable for this project.

Compensatory mitigation involves actions to offset unavoidable adverse impacts to Waters of the U. S., including wetlands, streams and other aquatic resources (aquatic sites) authorized by USACE permits. Compensatory mitigation may involve the restoration, enhancement, establishment/creation, and/or preservation of aquatic sites. While the purpose and need of this work is to eliminate the existing hazards of the dilapidated docks, boardwalk and marina and elimination of substantial potential legal liability, the proposed excavation and fill will also result in improvement to historical and undesirable aquatic habitat and protection of private property from future land area loss. No additional compensation is being proposed due to the fact that the resulting actions of the Applicant will provide the following benefits:

- Restoration of the North Branch of Trestle Creek to a more natural shape, and reconnecting it with its floodplain, will increase hyporheic exchange, increase hyporheic residence times and increase hyporheic volume, which has been demonstrated to reduce pollutants, decrease in-stream temperature, and increase macro-invertebrate diversity and richness, all of which could benefit bull trout.
- Restoration of historical shoreline conditions preceding the construction and operation of the Albeni Falls Dam in 1952 could provide benefits to the aquatic habitat.
- Enhancement of selected aquatic resource function(s) and critical habitat are expected. Baseline habitat conditions were determined to be degraded and heavily manipulated by past land uses and annual drawdown of the lake level, resulting in minimal riparian habitat quantity and quality along the shoreline of the lake, Trestle Creek and/or the North Branch of Trestle Creek. The slack water inlet has been heavily modified and displays habitat conditions that support warm-water predator species and the North Branch of Trestle Creek in its current configuration flows directly into this habitat. Filling this area will have a secondary benefit of eliminating a habitat that is supportive of predator fish and thus a potential detriment to bull trout.
- Establishment, through the development of an aquatic resource that did not previously exist where the man-made island is currently located, of over one (1) acre of new lake surface will result from the removal of this man-made island.
- Preservation of the existing aquatic habitat will result from preventing the further decline of certain aquatic resources that currently have little to no function or value, by improving the shoreline areas through re-establishment of native riparian grasses and plantings, and by protecting existing upland property that is subject to continued erosion and channelized runoff.

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ALTERNATIVES ANALYSIS

Alternatives Considered:

1). Subject Property With Higher Density Multi-Family Residential: Original plan outlined in 2006 USACE Permit granted to previous ownership to be developed on the proposed site. High density condominium project, including 76 condominiums with a similar plan for boat slips/marina and boat storage, and recreational access to Lake Pend Oreille. Total potential development and environmental impacts much more significant than proposed project.

General Site Information:

- (a) Parcel Information: Same as subject properties.
- (b) Wetlands Information: Same as subject properties.
- (c) County/City Zoning Designation: Same as subject properties.
- (d) Presence of Federally-Listed Threatened or Endangered Species or Critical Habitat: Same as subject properties.
- (e) Natural or Regionally Important Ecosystems That May Be Impacted: Same as subject properties.
- (f) Site Infrastructure Requirements: Would require additional water and wastewater infrastructure, including but not limited to, larger wells and either a off-site sewer plant or pre-packaged on-site sewer treatment plant, to accommodate much higher density multi-family residential development.

Practicability Factors:

- (a) Costs: Significantly higher development and construction costs to complete higher density multi-family development and more extensive infrastructure costs. Availability of construction financing in an amount sufficient to finance such costs is uncertain. Significantly higher financial risk of development.
- (b) Existing Technology/Construction Feasibility: Construction feasibility is uncertain due to the higher density and more extensive infrastructure requirements, including but not limited to, the physical space to construct the expanded wells and on-site pre-packaged wastewater and sewer treatment plant.
- (c) Logistics: Same as subject properties.

Availability:

Owned by applicants. Same as subject properties, with exception of off-site options for sewer treatment that would be required which are not available.

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2). Subject Property With Previous Proposal: Previous plan outlined in USACE Permit NWW-2007-01218 dated November 22, 2019, which was granted to current ownership for the subject property, required more fill and excavation than is proposed in this application. Proposed redesign of the marina, elimination of the boat ramp and proposed requirement of building setbacks for the single family residential sites will reduce the environmental impacts over those of the previous proposal.

General Site Information:

- (a) Parcel Information: Same as subject properties.
- (b) Wetlands Information: Same as subject properties.
- (c) County/City Zoning Designation: Same as subject properties.
- (d) Presence of Federally-Listed Threatened or Endangered Species or Critical Habitat: Same as subject properties.
- (e) Natural or Regionally Important Ecosystems That May Be Impacted: Not as favorable as current proposal for same properties.
- (f) Site Infrastructure Requirements: Same as subject properties.

Practicability Factors:

- (a) Costs: Similar development and construction costs in spite of changes intended to lessen the environmental impact of the project.
- (b) Existing Technology/Construction Feasibility: Feasible.
- (c) Logistics: Same as subject properties.

Availability:

Owned by applicants. Same as subject properties.

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3). Acquisition and Redevelopment of Jeb & Margaret's Trailer Haven, Hope, ID: This alternative was evaluated as it would have provided a similar number of boat slips, the possibility of upland development of single family residential lots and boat storage, and close proximity to The Idaho Club.

General Site Information:

- (a) Parcel Information: Bonner County Tax ID # RP57N01E213151A.
GPS Coordinates: 48°16'49.41"N, 116°20'59.55"W.
Distance From Subject Properties: 0.12 Miles North.
Acreage: 16.4 +/- acres.
- (b) Wetlands Information: National Inventory Map - Partial, Classification Code PF01C.
- (c) County/City Zoning Designation: Bonner County - Rural-5 (would need a zoning change to allow mixed use including higher density single family residential and commercial).
- (d) Presence of Federally-Listed Threatened or Endangered Species or Critical Habitat: Similar to subject properties due to close proximity to Trestle Creek to the North.
- (e) Natural or Regionally Important Ecosystems That May Be Impacted: Similar to subject properties due to close proximity to Trestle Creek to the North.
- (f) Site Infrastructure Requirements: Would likely require the replacement of the wastewater and sewer system to accommodate the proposed project.

Practicability Factors:

- (a) Costs: Price to acquire the property uncertain, but likely to be significantly higher if the owner was willing to consider a sale. Similar development and construction costs.
- (b) Existing Technology/Construction Feasibility: Likely feasible. Uncertain whether boat storage and/or wastewater and sewer components of proposed project could be accommodated on-site.
- (c) Logistics: Same as subject properties.

Availability:

Not available. Inquired twice, but owner declined to entertain a sale both times.

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<https://www.fws.gov/program/national-wetlands-inventory/wetlands-mapper>
 Classification code: PFD1C

System Palustrine (P) The Palustrine System includes all nontidal wetlands dominated by trees, shrubs, persistent emergents, emergent mosses or lichens, and all such wetlands that occur in tidal areas where salinity due to ocean-derived salts is below 0.5 ppt. It also includes wetlands lacking such vegetation, but with all of the following four characteristics: (1) area less than 8 ha (20 acres); (2) active wave-formed or bedrock shoreline features lacking; (3) water depth in the deepest part of basin less than 2.5 m (8.2 ft) at low water; and (4) salinity due to ocean-derived salts less than 0.5 ppt.

Class Forested (FO): Characterized by woody vegetation that is 6 m tall or taller.

Subclass Broad-Leaved Deciduous (1) Woody angiosperms (trees or shrubs) with relatively wide, flat leaves that are shed during the cold or dry season; e.g., black ash (*Fraxinus nigra*).

Water Regime Seasonally Flooded (C) Surface water is present for extended periods especially early in the growing season, but is absent by the end of the growing season in most years. The water table after flooding ceases is variable, extending from saturated to the surface to a water table well below the ground surface.

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4). Proposed Land Swap for Parcels Owned by Idaho Fish & Game, Sunnyside Road, Sandpoint, ID: This alternative was proposed as a possibility by contacts at Kaniksu Land Trust after conversations with Idaho Fish & Game. This was considered as it would have provided the possibility of upland development of single family residential lots, a marina and is within moderate proximity to The Idaho Club.

General Site Information:

- (a) Parcel Information: Bonner County Tax ID # RP57N01E190750A and RP57N01E184800A.
GPS Coordinates: 48°16'50.92"N, 116°22'58.56"W.
Distance From Subject Parcel: 11 Miles West.
Acreage: 20 +/- acres.
- (b) Wetlands Information: National Inventory Map - None.
- (c) County/City Zoning Designation: Bonner County - Rural-5 and Forest (would need a zoning change to allow mixed use including higher density single family residential and commercial).
- (d) Presence of Federally-Listed Threatened or Endangered Species or Critical Habitat: Uncertain.
- (e) Natural or Regionally Important Ecosystems That May Be Impacted: Uncertain, although located along the Northern shoreline of Lake Pend Oreille.
- (f) Site Infrastructure Requirements: Would require full community water system and wells, and community sewer including a drain field or sewage pond. Public roadways, Sunnyside Road and Sunnyside Hill Road, are currently unpaved.

Practicability Factors:

- (a) Costs: Significantly higher development and construction costs due to unpaved roads and topography, among other potential issues. Marina costs would be significantly higher as all of the improvements would need to be built across Sunnyside Road.
- (b) Existing Technology/Construction Feasibility: Likely feasible. Uncertain whether boat storage and/or wastewater and sewer components of proposed project could be accommodated on-site.
- (c) Logistics: Much longer drive from The Idaho Club via Highway 200 and Sunnyside Road, a large portion of which is unpaved, makes this option less desirable. Boat storage, parking and service areas would need to be on the opposite side of a public road, Sunnyside Road, from the marina. Uncertainty as to where the boat storage could be located given the access and topography.

Availability:

Not officially available. Preliminary conversation only. Concerns were raised about whether the original land donors restricted the development rights to the properties when donated to Idaho Fish & Game, which could lead to a legal challenge of such a land swap for the proposed purpose. Additional concerns about a potential legal challenge by the adjacent property owners to a rezoning and adaptation to commercial uses.

WETLANDS
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5). Acquisition and Development of Seasons at Sandpoint South Parcel, Sandpoint, ID: This alternative was considered when the property was under previous ownership. At that time, the owner wanted to sell this parcel along with the development parcel to the North of Seasons at Sandpoint, which is currently under construction. Previous owner's asking price, and request that the parcel to the North be included in the sale, made this option cost prohibitive. Too many unresolved questions / issues to properly consider this as a viable option.

General Site Information:

- (a) Parcel Information: Bonner County Tax ID # RPS00000233850A.
GPS Coordinates: 48°16'32.61"N, 116°32'40.07"W.
Distance from Subject Parcel: 8.83 Miles West.
Acreage: 2.15 +/- acres.
- (b) Wetlands Information: National Inventory Map - None.
- (c) County/City Zoning Designation: City of Sandpoint - Commercial A (would need a zoning change and/or modification of subject to Development Agreement with City to allow proposed project).
- (d) Presence of Federally-Listed Threatened or Endangered Species or Critical Habitat: Uncertain.
- (e) Natural or Regionally Important Ecosystems That May Be Impacted: Uncertain, although located along the Northwestern shoreline of Lake Pend Oreille.
- (f) Site Infrastructure Requirements: Most infrastructure and services are located along adjacent road. Access and construction staging during construction would be a challenge.

Practicability Factors:

- (a) Costs: Significantly higher acquisition and development costs due to proposed purchase price, construction challenges within City of Sandpoint and within a densely developed area. When this was discussed with the previous owner, the price was substantially higher than the subject properties and was also contingent upon the purchase of a previously undeveloped parcel on the North end of the project.
- (b) Existing Technology/Construction Feasibility: Not feasible for all three proposed uses - residential, marina and boat storage - due to the size of the parcel. Boat storage and/or single family residential components of proposed project could not be accommodated on-site.
- (c) Logistics: Much longer drive from The Idaho Club via Highway 200, and to Downtown Sandpoint, made this alternative much less desirable or practical. Boat storage, parking and service areas would have to be eliminated or severely restricted. Uncertainty as to whether any additional boat slips could be approved with the limited lake frontage and space available alongside existing marina.

Availability:

No longer available. Preliminary conversation with previous ownership.

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Alternative
Seasons at Sandpoint

Subject Parcel



No wetlands are present.

https://www.fws.gov/program/national-wetlands-inventory/wetlands_mapper

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6). Acquisition and Redevelopment of Beyond Hope Resort, Hope, ID: This alternative was considered as a possibility as it provided the possibility of upland development of single family residential lots, an existing marina and is within moderate proximity to The Idaho Club. Determined to be cost prohibitive at current asking price of \$16M. Further, provided fewer boat slips and uncertainty as whether a zoning change could be secured to accommodate boat storage. Little to no lake frontage for single family residential sites. Most of the developable acreage is off the lakefront and of less development value.

General Site Information:

- (a) Parcel Information: Bonner County Tax ID # RP56N01E126604A.
GPS Coordinates: 48°12'55.10"N, 116°17'5.43"W.
Distance From Subject Parcel: 5.7 Miles South.
Acreage: 49 +/- acres.
- (b) Wetlands Information: National Inventory Map - No.
- (c) County/City Zoning Designation: Bonner County - Recreation.
- (d) Presence of Federally-Listed Threatened or Endangered Species or Critical Habitat: Uncertain.
- (e) Natural or Regionally Important Ecosystems That May Be Impacted: Uncertain, although located along the Northeastern shoreline of Lake Pend Oreille.
- (f) Site Infrastructure Requirements: Most infrastructure and services are located along adjacent road. Would likely need to upgrade or expand water and sewer systems, as well as build and pave roads throughout the property. Uncertain as to whether community water or sewer systems exist that could accommodate the project.

Practicability Factors:

- (a) Costs: Significantly higher acquisition and development costs due almost entirely to proposed asking price of \$16,000,000. This price alone renders this alternative impractical.
- (b) Existing Technology/Construction Feasibility: Likely feasible to build, but the acquisition price renders this financially unfeasible.
- (c) Logistics: Much longer drive from The Idaho Club via Highway 200 makes this option much less desirable. Limited lake frontage severely limits the potential single family homesites and the possibility of increasing the size of the marina. Uncertainty as to whether any additional boat slips could be approved with the limited lake frontage and room alongside existing marina. Too many unresolved questions / issues to properly evaluate this as a viable option.

Availability:

Listed for sale recently at \$16,000,000. Price is prohibitive as an alternative to the proposed project.

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EXHIBIT D

PUBLIC INTEREST FACTORS

1. Conservation:

The Applicant has conducted an extensive review of the conservation impacts of residential development in the action area and strongly believes that the project is in the public interest. Trestle Creek has been altered over the years by human development resulting in riparian degradation, entrenched channels, floodplain disconnection and habitat simplification. Our analysis has revealed that due to the incorporation of vegetative reclamation of native plants along the shoreline, in addition to the restoration of historic natural flow to the North Branch of Trestle Creek, the proposed residential development and marina along with the specified conservation measures will have beneficial impacts on the lake's aquatic life, threatened species and aquatic habitat. Based on the findings of the U. S. Fish & Wildlife Service Biological Opinion dated August 12, 2022 ("USFW Biological Opinion") conservation benefits will accrue from our actions, most notably the realignment of the North Branch of Trestle Creek. The potential introduction of wastewater and runoff from the proposed residential development has been addressed by the inclusion of an upland storm and wastewater disposal system. Incorporating revegetation of shore land areas with native flora in addition to other measures will remove existing invasive species. Reconnecting the North Branch of Trestle Creek to its historic channel and floodplain will result in a host of benefits to native flora, fauna and aquatic species. The net result of the proposed development will not lead to an increase in the accumulation of sediment and pollutants in the lake, and as a result will not be harmful to the conservation values or the flora, fauna or aquatic species of the area. The development will incorporate educational postings including, but not limited to, the placement of signs along Trestle Creek to inform landowners of environmental impact avoidance or conservation measures (U. S. Army Corps of Engineers Biological Assessment dated March 29, 2022, Appendix B) that will expose and inform residents and visitors to the sensitivity of their surroundings and how their actions may affect it.

The realignment of North Branch of Trestle Creek will likely produce the greatest public conservation benefits of the project, directly resulting in the improvement of habitat and the health and survival of juvenile bull trout during out-migration. This will predominantly occur through a decline in mortality due to predation by nonnative species such as lake trout (*Salvelinus namaycush*), walleye (*Sander vitreus*), northern pike (*Esox Lucius*), largemouth bass (*Micropterus salmoides*), and smallmouth bass (*Micropterus dolomieu*).

Due to regulation of flows, the lake level fluctuates annually, dewatering significant portions of shallow nearshore habitat. As a result of the timing of the re-watering occurring, the shallow nearshore habitat provides little use to bull trout beyond prey base production. Further still, the action area, including the North Branch of Trestle Creek, has not been known to support spawning and is unlikely to support rearing, based on the following: (1) habitat assessments (e.g. Alta 2019); (2) observations by fish biologists; (3) known fish barriers; and, (4) intermittent and low seasonal flows. Although the proposed development of housing near the lake could lead to an increase in recreational activities, such as boating and swimming, which could stress the lake's ecosystem, these activities are likely to occur and increase, regardless of project approval due to the growing regional population.

The proposed action includes extensive conservation measures outlined in the USFW Biological Opinion, Section 2.4 Proposed Conservation Measures, to avoid and/or minimize adverse effects on the environment including conservation values. The proposed exhaustive application of best management practices ("BMPs") throughout the project lifetime have resulted in supportive findings outlined in the USFW Biological Opinion, Section 3.3 Effects of the Proposed Action, and for the reasons detailed in the

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above section of the USFW Biological Opinion, insignificant and discountable effects to bull trout or related conservation related impacts are expected from noise and disturbance, suspended sediment, chemical contamination, and predator and prey base alteration.

According to the USFW Biological Opinion, related development in the action area is not expected to appreciably reduce the conservation function of the Lake Pend Oreille CHSU, Clark Fork CHU or the Columbia River RU; therefore, the proposed action is not expected to destroy or adversely modify PBF 1 in Lake Pend Oreille. Further, restoring the North Branch of Trestle Creek to historic alignment, with more diverse habitat types and reconnecting it with its floodplain will likely increase hyporheic exchange, increase hyporheic residence times, and increase hyporheic volume, which has been demonstrated to reduce pollutants, decrease in-stream temperature, and increase macro-invertebrate diversity and richness, all of which could benefit bull trout (Bakke 2020, Pages 2, 31).

In summary, according to the USFW Biological Opinion, the proposed development in the action area adequately addresses conservation concerns and supports the public interest, the greatest being the potential positive impact on the bull trout population. Specifically, the proposed project will result in:

- In the long-term, the proposed action will improve migration corridor conditions by restoring in-stream habitat of the lower North Branch of Trestle Creek stream channel, removing two fish passage barriers on the North Branch of Trestle Creek, and reconnecting the channel with the main stem of Trestle Creek, instead of it emptying into a warm backwater area.
- Altering habitat by restoring in-stream habitat and riparian corridors could affect prey species abundance and composition. In-stream restoration of the North Branch of Trestle Creek will improve habitat complexity and function allowing it to support more aquatic and riparian prey species, which will improve its ability to function as rearing habitat if flows and temperatures support rearing. Similarly, riparian restoration on both branches of Trestle Creek will likely provide more abundant and complex riparian food sources for bull trout. It is expected that habitat alteration from the proposed action will have permanent, localized beneficial effects to PBF 3 in spawning and rearing critical habitat.
- Restoration of the North Branch of Trestle Creek will permanently increase the complexity of the stream. The diversion of the North Branch of Trestle Creek is expected to provide long-term improvements in the complexity and function of this in-stream habitat in the last approximately 600 feet of the North Branch of Trestle Creek. The adverse effects of the action will be temporary and are not expected to appreciably reduce the conservation function of the Lake Pend Oreille CHSU, Clark Fork CHU, or the Columbia River RU; therefore, the proposed action is not expected to destroy or adversely modify PBF 4.
- Channel restoration of the North Branch of Trestle Creek will result in more complexity, pools and a connected floodplain that will likely have increased hyporheic exchange, resulting in a cooling of stream temperatures and beneficial effects to this PBF. Water temperature will be further decreased by a restored riparian setback providing more cover. This beneficial effect to this PBF will occur over approximately the last 600 feet of the North Branch of Trestle Creek.
- Reshaping the channel of the North Branch of Trestle Creek, adding complexity, and reconnecting it to the floodplain is likely to improve water quality and quantity, terrestrial and aquatic food sources in an area that may be accessible for fish rearing and fish growth in the future. Restoring riparian areas on both branches of Trestle Creek will add a source of debris that will contribute to maintaining the long-term complexity and function of the channel. The riparian restoration from the proposed action is expected to have permanent, localized beneficial effects to PBF 8.

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In conclusion, it has been demonstrated through the USFW Biological Opinion that the project does support the public interest related to conservation.

2. Economics:

The project will result in a positive economic benefit to Bonner County and the State of Idaho by adding direct and indirect construction and service employment, increasing base valuation of land and generating income as well as sales tax revenue from boat slip rental and storage. Property, sales and income tax are dispersed to and support the operations of numerous local and state agencies. According to the 2016 Boise State Report, "Economic Impact and Importance of Power Boating in Idaho", day and overnight boating trips resulted in over \$18M of non-resident spending, \$36.3M in sales and provided over 520 direct and indirect jobs per year in Bonner County. As such, the growth in revenue, employment and tax base resulting from the project are supportive of the public interest.

3. Aesthetics:

The project has been thoughtfully designed and will result in the improvement of the existing property and shoreline conditions that include dilapidated docks, bridges, buildings and the remnants of a former RV park and man-made slough. Presently, the shoreline is strewn with over 785 linear feet of dilapidated docks and elevated walkways that are in various states of collapse or disrepair. It is difficult to stress the significance of the negative aesthetics impact that historical structures have on not just this site but to the greater area shoreline as a whole. As such, the aesthetics of the area will be enhanced by the project therefore making it supportive of the public interest.

4. General Environmental Concerns:

In general, other environmental concerns related to noise, smoke, fumes, glare or odor will be de minimis. The residential component of the project will include restrictive covenants with an enforcement mechanism to maintain tranquility and prevent offensive uses and behavior. Existing dilapidated and unsafe improvements will be removed including, but not limited to a legacy well and drain field, resulting in improvement of the general property environment. Shoreline embankments and grades within 100 feet of open water will be final graded, as needed, to establish a stable and safe shoreline/embankment and to create areas that encourage surface water flows to be away from the lake or creek, or into the interior of the upland areas and then run through stormwater treatment elements. A "clean boat" policy and protocol procedure will be established and implemented to assure that introduction of nuisance aquatic species will not occur. Additionally, invasive species signage will be installed at key locations to inform marina users of measures that can be taken to prevent introduction of invasive species. These inspections and signs will ensure that the introduction of invasive species and related environmental concerns as a result of marina operation are addressed. Prior to the start of earth disturbing activity, erosion prevention and sedimentation control surface water protection BMPs will be implemented on the site. These measures will include, but not be limited to: sediment fencing, construction entrance protection, sediment control wattles, sedimentation and dewatering basins, erosion control blankets, temporary cover seeding and mulching. In summary, the project has been designed and planned to avoid any potential negative impacts or other general environmental concerns. As a result, there is no impact on public interest.

5. Wetlands:

All wetlands on the property have been identified and proper mitigation efforts in accordance with standards will be followed. Perimeter barriers will be installed between the low open water areas and where shoreline reconfiguration/stabilization will be done. They will remain until the areas have been permanently stabilized and revegetated. All perimeter protection placed in the dry, but below the OHWM, will be removed prior to the seasonal Spring lake level rise. In doing so, the project and related improvements are supportive of the public interest.

DEPT OF LANDS

6. Historic Properties:

The site does not include any identified historic properties or features. Although not anticipated due to the recent historical survey of the site, previous modifications and improvements erected on the site, in the event that work results in the discovery of human remains or cultural items, the applicant and workers will implement and fully comply with the Inadvertent Discovery Plan protocol as stipulated by the Idaho State Historic Preservation Office. As such, there is no conflict with the public interest.

7. Fish & Wildlife:

It is unlikely that fish would utilize the marina and nearshore during most of the year due to the high summer water temperatures and winter lake drawdown. If bull trout are disturbed by a watercraft, they would likely move deeper into the water column of Lake Pend Oreille or into areas with less watercraft noise. If bull trout are exposed to boating noises over 150 dB, the exposure will likely be brief and may elicit a temporary startle response as vessels pass, after which the fish would likely return to foraging. Based on the duration, level of impact, existing conditions, physiological tolerances of bull trout and conservation measures referenced in the USFW Biological Opinion, Section 2.4, the effects of noise and disturbance from ongoing marina operations to individual bull trout are expected to be insignificant. Fuel and associated lubricants used by boats can be a concern to aquatic species. BMPs for the operation of the marina will require spill kits to be present, and deployed in the event of a spill, and the marina will not have a refueling station. Therefore, the effects of marina contaminants on bull trout and their critical habitats would be insignificant, if exposure occurs at all, and significant exposure would be discountable.

The proposed action reduces riparian degradation, an identified primary threat to the core area. Predator habitats in the inlet will be altered as part of the project; specifically, portions of the island and peninsula currently harboring slack water will be removed, exposing this water to the currents in Lake Pend Oreille. Additionally, the inlet will be excavated to a uniform depth of 7 feet below OHWM, increasing depth throughout the inlet. The excavation will reduce stagnation and solar loading that favors warm-water predator species by providing more exposure to wave and wind action compared to baseline conditions. This will cause a decrease in quality and quantity of predator habitat within the action area when compared to existing conditions. The result of these actions will support the continued recovery and future viability of bull trout which is in the public interest.

Cumulative effects related to the proposed action will increase the amount of human use, structures and chemical contamination. While the exact impacts from cumulative effects cannot be fully evaluated without the ability to identify what they are, where they are and scope of their impacts, it is likely that their effects will be somewhat lessened by routing the North Branch of Trestle Creek further away from the development area than it is currently. The USFW Biological Opinion confirms that the proposed action will not result in an appreciable reduction in the likelihood of both the survival and recovery of the species at either the sub-core area level, core area level or recovery unit level, therefore it will not jeopardize the coterminous population of bull trout. Therefore, the proposed action is in the public interest as it will not destroy or adversely modify designated critical habitat for bull trout, and further, strong evidence contained in the USFW Biological Opinion suggests a likely enhancement of the habitat for this species.

Riprap along the shore of the lake will be heavily vegetated, denying warm water predators the effects of warming adjacent waters, and providing no more cover than would be typical of a riparian corridor, resulting in an insignificant variation of predator presence when compared to baseline conditions.

The final area of concern addressed by USFW is boat propeller wash and the potential mortality of fish from contact and increased turbidity from boat thrust. The marina will have a "No Wake Zone", decreasing the force of propeller wash and providing ample time for fish to avoid vessels during ingress

and egress from the marina. Because of the project designs and BMPs, propeller wash is not anticipated to significantly mobilize sediments, nor are boat interactions with fish likely. Therefore, the effects of propeller wash on bull trout and their critical habitats would be insignificant and discountable. In consideration of the above, we believe the application and consideration of this request are supportive of the public interest.

8. Flood Hazards:

Portions of the project area are located within the AE Flood Hazard Zone. As such, all construction will require the application and issuance of a Floodplain Development Permit, administered by Bonner County Planning. Assuming such a permit is obtained, the project and related improvements are supportive of the public interest.

9: Floodplain Values:

Directly reconnecting the flows of the North Branch of Trestle Creek to their historic floodplain will result in innumerable benefits to the native flora, fauna and aquatic species of the area. In doing so, the project and related improvements are supportive of the public interest.

10: Land Use:

The project has received approval from Bonner County under the Planned Unit Development provisions of Bonner County Revised Code. As such, the underlying density afforded to the property owner in this zoning district has been concentrated and clustered to allow more open space than would otherwise be required if processed as a standard subdivision. The open space afforded through this means provides benefits to the public including green space, vegetative shoreline buffers and increased pervious surfaces. In doing so, the project and related improvements are supportive of the public interest.

11. Navigation:

The waters surrounding the property today are choked with half submerged piers and bridges, partial and dilapidated boardwalks and docks, rusty nails, deposition and related hazards to navigation. The proposed project will include the installation of “No Wake Zone” signage and removal of these existing and significant hazards. In doing so, the project and related improvements are supportive of the public interest.

12. Shore Erosion & Accretion:

The riparian habitat in the action area is degraded, including habitat along the shorelines. Prior land uses, including operation of a RV park and marina, and operations of an adjacent RV park, public park and boat ramp have likely contributed to the degradation of shoreline habitat to varying degrees. Additionally, the extreme fluctuations of lake level between Summer pool and Winter drawdown in Lake Pend Oreille likely result, to some degree, in mechanical erosion of the shoreline as well as periodically lowering the water table for riparian vegetation. Considering the degrade baseline condition of riparian habitat and continued contributing factors beyond the control of Applicant, installation of the riprap and associated vegetation will have at most an insignificant effect on bull trout and their critical habitat when compared to the baseline conditions and may provide a net benefit. The construction of docks, retaining structures and riprap will help to armor the exposed shoreline, thereby diminishing damaging wave action and associated erosion generated from the prevailing winds across the lake. In consideration of the above, the application and consideration of this request are supportive of the public interest.

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13. Recreation:

This project will support access to recreational boating on the lake. Based on a recent survey of marinas on the lake, the waiting list for available slips exceeds several hundred consumers. Based on the above referenced 2016 Boise State Study, there were over 40,800 boat trips made to Bonner County, confirming that lake access and boating are a significant recreational attraction and a contributor to the local and regional economy. It is acknowledged that as a result of the successful completion of the project, human powered boat access to some (approximately 1,000 linear feet) back channel slack water in the project area will be lost. However, the quality of this slack water inlet (bounded by collapsing, dilapidated nail strewn docks, boardwalks and bridges) and difficult access (presently a large beaver dam seems to prevent access) suggest that the adjacent 500-acre Pack River Delta and miles of slack water (motored power boats prohibited) North of the Highway 200 bridge provide a destination for hand powered boaters that is of far higher quality, more ecologically diverse and substantially safer. The addition of 105 boat slips on the lake is supportive of the public interest in that it provides greater and safer recreational access to this extraordinary public resource.

14. Water Supply & Conservation:

The project will have no material impact on the availability of water supply in the area. There is no conflict with the public interest.

15. Energy Needs:

The project will have no material impact on the availability of energy in the area. There is no conflict with the public interest.

16. Safety:

The planned improvements will enhance public safety through the elimination of existing hazards — removal of dilapidated docks, bridges, boardwalks and buildings, and the excavation of shallow channels presently impeding the navigable waters. The greatest safety related impact of the project is the elimination of potential hazards to the public and the property owner, and a significant potential legal liability for Applicant, of the 785+ linear feet of collapsing shoreline boardwalks, bridges and docks, and unstable areas of shoreline. Not only do these historical features contain innumerable potential hazards, they also serve as an attractive nuisance to unaware trespassers who may misjudge the structural integrity of these legacy structures. In their present state, the historical improvements represent a significant legal liability to Applicant, and due to their location along with shoreline (some on an island and all overhanging the ordinary high water mark), access and removal without impacting the lake bed is complex if not impossible. Approval of the project will allow these significant safety concerns to be eliminated. As a result, the project and related improvements are supportive of the public interest.

17. Food & Fiber Production:

The project will have no impact on food or fiber production. There is no conflict with the public interest.

18. Mineral Needs:

The project will have no impact on mineral needs. There is no conflict with the public interest.

19. Considerations of Property Ownership:

Property in the immediate vicinity and to the South of the action area has been developed with similar characteristics to what is proposed for this project. The project has not elicited negative responses from abutting property owners to the South. The abutting property owner to the North did express concerns related to access on upland portions of the development which have been resolved.

DEPT OF LANDS

development will benefit Applicant in a number of ways, most notably, yielding the highest and best reasonable use of the property as entitled by local zoning regulations. Beyond this direct benefit, the project also provides for enhanced revenue streams from the proposed watercraft services (moorage & storage) and is accretive in value to the broader integrated resort offerings of The Idaho Club. The project is in response to the significant market demand for both recreational access to the lake, watercraft services and waterfront home sites, and will eliminate latent and patent hazards present in its current condition, all the while improving the habitat of an endangered species, the bull trout. By following applicable process and rules, and adhering the established standards governing the proposed work, Applicant should reasonably expect avoidance of an arbitrary action that would strip them of their private property rights. Therefore, the application and consideration of this request are supportive of the public interest.

20. Needs & Welfare of the People:

The project will not negatively impact the needs or welfare of the people. Rather, the development of the proposed marina, dry boat storage and residential homesites will help to expand access to the lake by providing: (1) a needed and desired service (boat slips) for which there is a years long waiting list; (2) waterfront homesites for which there is significant market demand; and, (3) dry boat storage for which current market demand greatly exceeds supply. Therefore, the application and consideration of this request are supportive of the public interest.

DEPT OF LANDS

JUN 14 2023

EAST BRANCH TRESTLE CREEK RESTORATION PROJECT FINAL DESIGN PLAN SET

TRESTLE CREEK VICINITY MAP



DRAWING INDEX

- 1.0 COVER SHEET AND NOTES
- 2.0 SITE PLAN
- 3.0 SPECIFICATIONS
- 3.1 MATERIALS AND QUANTITIES
- 4.0 PLAN VIEW AND DATA SHEET
- 4.1 GRADING PLAN AND PROFILE
- 5.0 DESIGN CHANNEL CROSS SECTIONS
- 6.0 BOULDER STEP POOL STRUCTURE DETAIL
- 6.1 CONSTRUCTED CHANNEL STREAMBED DETAIL
- 6.2 VEGETATED WOOD MATRIX DETAIL

PROJECT PARTNERS



Valiant Idaho II, LLC
The Idaho Club
151 Clubhouse Way
Sandpoint, ID 83864

PROJECT DESCRIPTION

THE NORTH BRANCH OF TRESTLE CREEK (NBTC) WAS ARTIFICIALLY CONSTRUCTED AS AN IRRIGATION CANAL IN THE EARLY 1900S. PRESENTLY, RESIDENTIAL DEVELOPMENT, CLEARING OF INSTREAM WOOD, AND FISH PASSAGE BARRIERS ASSOCIATED WITH THE OUTFALL TO LAKE PEND OREILLE, US HIGHWAY 200 AND THE MONTANA RAIL LINK TRACKS HAVE DEGRADED STREAM CORRIDOR HABITAT CONDITIONS AND IMPEDED THE PASSAGE OF KOKANEE OMOXHYNCHUS NERKA (KOKANEE), SALVELINUS CONFLUENTUS (BULL TROUT), AND OTHER FISH SPECIES INTO NBTC FROM LAKE PEND OREILLE.

IN EARLY 2022, THE LAKE PEND OREILLE IDAHO CLUB EXPRESSED INTEREST IN IMPROVING FISH PASSAGE AND RENATURALIZING A PORTION OF THE NORTH BRANCH TRESTLE CREEK (NBTC) FOR THE BENEFIT OF KOKANEE, BULL TROUT AND OTHER FISH SPECIES. RIVER DESIGN GROUP WAS RETAINED TO PRODUCE A FINAL DESIGN FOR THIS PROJECT AREA USING THE MOST RECENT DESIGN STANDARDS. THE PRIMARY GOAL OF THIS PROJECT IS TO ENHANCE THE AESTHETICS OF THE EXISTING NBTC CHANNEL BY CONSTRUCTING A NATURALLY FUNCTIONING CHANNEL AND FLOODPLAIN CONFIGURATION THROUGH THE PROPOSED IDAHO CLUB PROPERTY.

STANDARD OF PRACTICE

RIVER DESIGN GROUP, INC. WORKS EXCLUSIVELY IN THE RIVER ENVIRONMENT AND UTILIZES THE MOST CURRENT AND ACCEPTED PRACTICES AVAILABLE FOR PLANNING AND DESIGN OF RIVER, FLOODPLAIN, AND AQUATIC HABITAT RESTORATION PROJECTS. CURRENT STANDARDS FOR THE DESIGN OF RESTORATION PROJECTS VARY DEPENDING ON PROJECT GOALS.

REUSE OF DRAWINGS

THESE DRAWINGS, THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF RIVER DESIGN GROUP, INC. (RDG) AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF RDG. LIKEWISE, THESE DRAWINGS MAY NOT BE ALTERED OR MODIFIED WITHOUT AUTHORIZATION OF RDG. DRAWING DUPLICATION IS ALLOWED IF THE ORIGINAL CONTENT IS NOT MODIFIED.



COVER PAGE AND NOTES
EAST BRANCH TRESTLE CREEK RESTORATION PROJECT
NEAR SANDPOINT, IDAHO

NO.	DATE	BY	DESCRIPTION	CHK
1	07/18/20	LS	FINAL DESIGN	HW
PROJECT NUMBER RDG-23-179				
DRAWING NUMBER 1.0				
Drawing 1 of 10				

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SITE PLAN
EAST BRANCH TRESTLE CREEK RESTORATION PROJECT
NEAR SANDPOINT, IDAHO

1 SITE PLAN
1" = 40'

DETAIL LEGEND	
SYMBOL	DETAIL SHEET #
	6.0
	6.1
	6.2

PROJECT DATUM
THE PROJECT COORDINATES ARE BASED ON THE FOLLOWING:
HORIZONTAL PROJECTION: IDAHO STATE PLANE (WEST FOOT)
HORIZONTAL DATUM: NAD83 (2011)
UNITS: US SURVEY FEET
VERTICAL DATUM: NAVD88 (GEOID 12B)

TOPOGRAPHY AND CROSS SECTION GROUND LINES ARE BASED ON SURVEY WORK PERFORMED BY RDG IN JULY 2022.

CONTROL POINTS				
POINT NUMBER	EASTING	NORTHING	POINT ELEVATION	RAW DESCRIPTION
1001	2476328.5410'	2412772.5490'	2079.404'	5/8" REBAR WITH A 2" ALUMINUM CAP MARKED "RDG"

NO.	DATE	BY	DESCRIPTION	CHK
1	07/07/22	LS	FINAL DESIGN	JKW

PROJECT NUMBER: RDG-22-178
DRAWING NUMBER: 2.0
Drawing 2 of 15

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MATERIALS AND QUANTITIES
 EAST BRANCH TRESTLE CREEK RESTORATION PROJECT
 NEAR SANDPOINT, IDAHO

TOTAL WOOD QUANTITIES				
ITEM	QUANTITY	DIAMETER	LENGTH	ROOTWAD
CATEGORY 2 WOOD	24	2-4 IN	20 FT	OPTIONAL
CATEGORY 3 WOOD	239	< 2 IN	10-12 FT	OPTIONAL
WILLOW CUTTINGS	717	0.25-1.0 IN	8 FT	NO

NOTE:
 WOOD LENGTHS SHOWN WILL PRODUCE THE PROPER AMOUNT MATERIAL FOR STRUCTURES WHEN SPLIT INTO APPROPRIATE SIZES DURING CONSTRUCTION. IT IS CONTRACTOR'S RESPONSIBILITY TO CUT WOOD INTO APPROPRIATE SIZE LENGTHS TO FIT STRUCTURE DIMENSIONS.

TOTAL ROCK QUANTITIES			
ITEM	QUANTITY (EA)	DIAMETER (IN)	
CATEGORY 1 ROCK	280	24-30	
CATEGORY 2 ROCK	95	10-12	

ITEM	QUANTITY (CY)	GRADATION
STREAMBED/STREAMBANK FILL	100	SIZE (IN) PERCENT PASSING
		10 100
		6 90-100
		4 50-80
		3 30-50
		1 10-30
		0.08 10

TOTAL EARTHWORK QUANTITIES	
ITEM	QUANTITY (CY)
CUT	300
BACKFILL	300
NET	0

NOTE:
 VOLUMES ARE NEARLINE. CONTRACTOR TO APPLY EXPANSION FACTORS TO DETERMINE A MORE ACCURATE BACKFILL VOLUME.

TOTAL MISCELLANEOUS QUANTITIES	
ITEM	QUANTITY
SOD MAT	288 (SF)
SHRUB SALVAGE AND TRANSPLANT	12 (AS AVAILABLE)
RECLAMATION SEED	5.57 (PLS LBS)
NONWOVEN GEOTEXTILE FABRIC	160 (LF)
20D RING SHANK NAILS W/WASHERS	160 (EA)

BOULDER STEP POOL STRUCTURE QUANTITIES	
ITEM	QUANTITY
BOULDER STEP POOL STRUCTURES	8 (EA)
STREAMBED FILL (6" MINUS)	40 (CY)
SOD MAT	288 (SF)
CATEGORY 1 ROCK	280 (EA)
NONWOVEN GEOTEXTILE FABRIC	160 (LF)
20D RING SHANK NAILS W/WASHERS	160 (EA)

CONSTRUCTED CHANNEL STREAMBED QUANTITIES	
ITEM	QUANTITY
CONSTRUCTED RIFFLE	119 (LF)
CATEGORY 2 ROCK	95 (EA)
STREAMBED FILL	36 (CY)

VEGETATED WOOD MATRIX QUANTITIES	
ITEM	QUANTITY
VEGETATED WOOD MATRIX	239 (LF)
CATEGORY 2 WOOD	24 (EA)
CATEGORY 3 WOOD	239 (EA)
WILLOW CUTTINGS	717 (EA)
STREAMBED FILL	24 (CY)

RIPARIAN SEEDING SCHEDULE				
LOCATION	SPECIES		PLS LBS/ACRE	TOTAL PLS LBS
FLOODPLAIN 0.234 ACRES	SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS	10.59	2.48
	BLUEJOINT REEDGRASS	CALAMAGROSTIS CANADENSIS	4.71	1.10
	TUFTED HAIRGRASS	DESCHAMPSIA CAESPITOSA	1.18	0.28
	MEADOW BARLEY	HORDEUM BRACHYANTHERUM	7.35	1.72
	TOTAL			

NO.	DATE	BY	DESCRIPTION
1	02/14/22	LS	FINAL DESIGN

PROJECT NUMBER
 RDD-22-17D

DRAWING NUMBER
3.1

Drawing 4 of 10

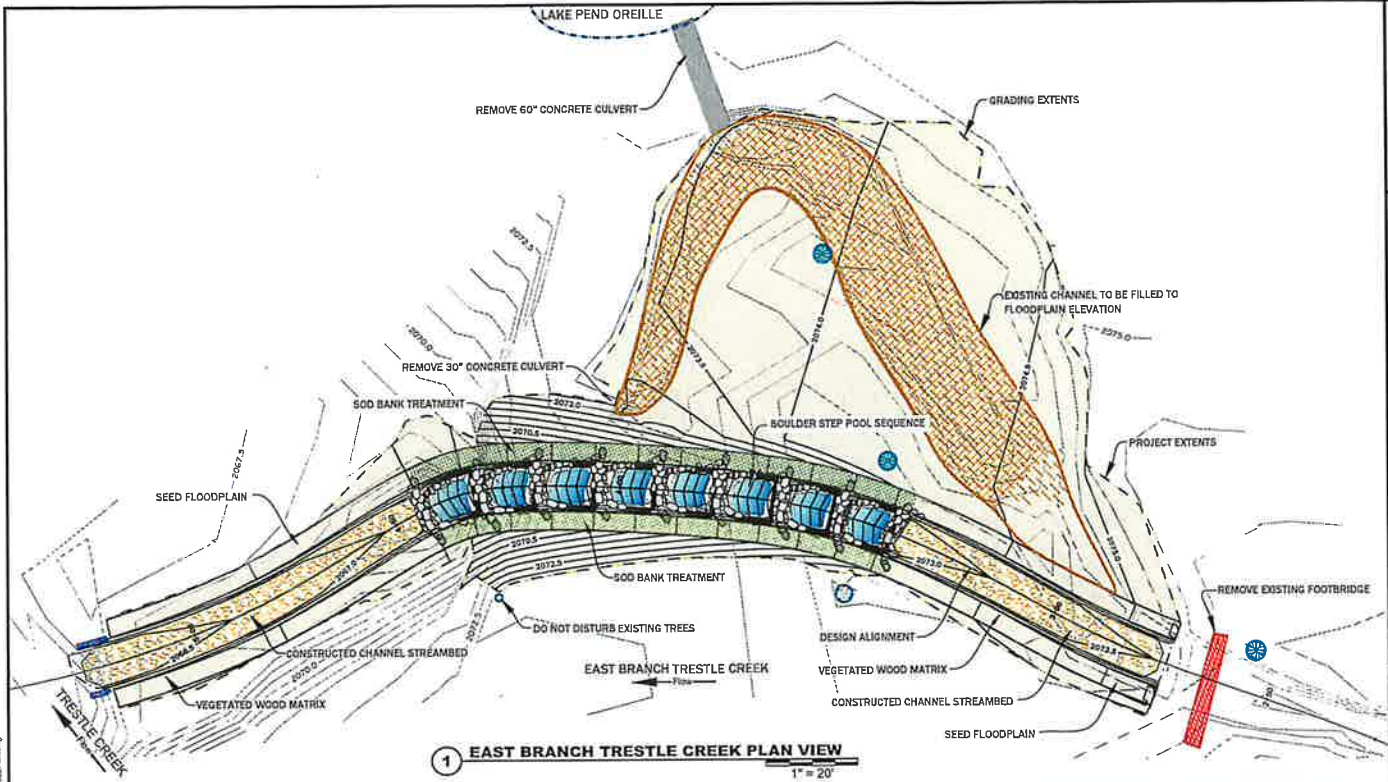
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PLAN VIEW AND DATA SHEET
EAST BRANCH TRESTLE CREEK RESTORATION PROJECT
 NEAR SANDPOINT, IDAHO



1 EAST BRANCH TRESTLE CREEK PLAN VIEW
 1" = 20'

CHANNEL TOP OF BANK ELEVATIONS

STATION START	ELEVATIONS (FT)	STATION START	ELEVATIONS (FT)	STATION START	ELEVATIONS (FT)	STATION START	ELEVATIONS (FT)
0+30	2077.8	3+64	2071.3	3+92	2069.9	4+19	2065.5
2+72	2073.5	3+66	2071.3	3+93	2069.9	4+29	2067.8
3+39	2072.7	3+67	2069.3	4+03	2069.2	4+31	2067.8
3+40	2069.7	3+77	2070.6	4+05	2069.2	4+32	2064.8
3+51	2072.0	3+79	2070.6	4+06	2069.2	4+42	2067.1
3+53	2072.0	3+80	2067.6	4+16	2068.5	4+44	2067.1
3+54	2069.0	3+90	2069.9	4+18	2068.5	5+27	2066.0

STRUCTURE SCHEDULE

STATION START	STATION END	BANK	STRUCTURE	STATION START	STATION END	BANK	STRUCTURE
2+95	3+39	L	VWM	4+03	4+16	C	BSP
3+00	3+39	C	CCS	4+16	4+29	C	BSP
3+05	3+39	R	VWM	4+29	4+42	C	BSP
3+39	3+51	C	BSP	4+42	5+20	L	VWM
3+51	3+64	C	BSP	4+42	5+22	C	CCS
3+64	3+77	C	BSP	4+42	5+25	R	VWM
3+90	4+03	C	BSP				

DETAIL LEGEND

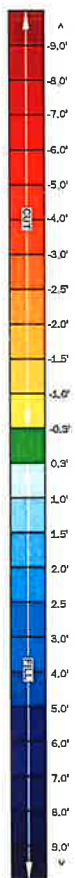
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	6.1
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REV	DATE	BY	DESCRIPTION
1			FINAL DESIGN

PROJECT NUMBER: R00-25-17E
 DRAWING NUMBER: 4.0
 Drawing 3 of 15

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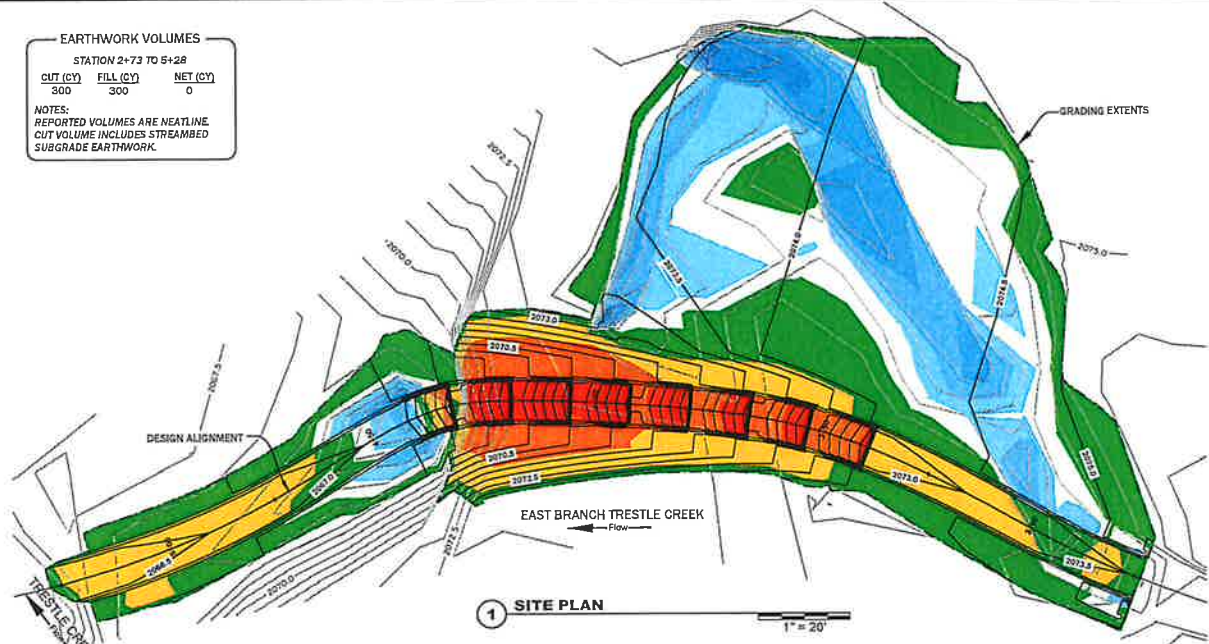
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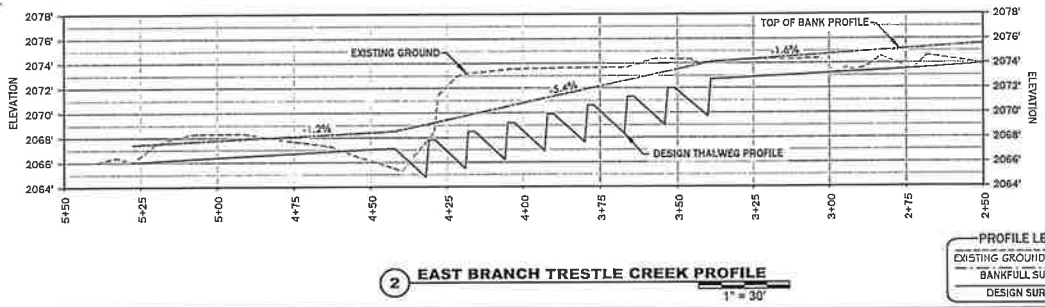
EARTHWORK VOLUMES
STATION 2+73 TO 5+28

CUT (CY)	FILL (CY)	NET (CY)
300	300	0

NOTES:
REPORTED VOLUMES ARE NEARLINE
CUT VOLUME INCLUDES STREAMBED
SUBGRADE EARTHWORK.



1 SITE PLAN
1" = 20'



2 EAST BRANCH TRESTLE CREEK PROFILE
1" = 30'

PROFILE LEGEND

---	EXISTING GROUND ELEVATION
---	BANKFULL SURFACE
---	DESIGN SURFACE

EXISTING GROUND COMPARED TO RDG DESIGN SURFACE



GRADING PLAN AND PROFILE
TRESTLE CREEK RESTORATION PROJECT
NEAR SANDPOINT, IDAHO

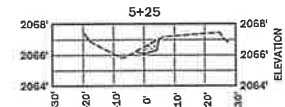
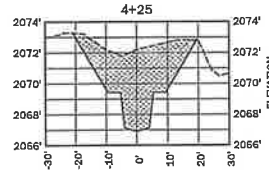
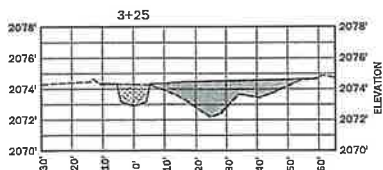
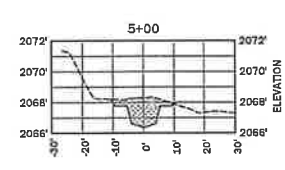
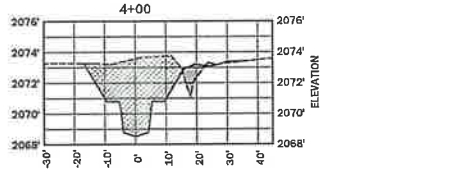
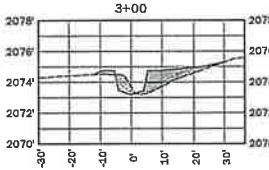
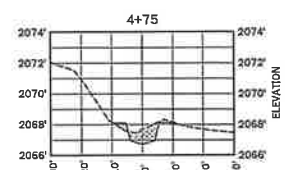
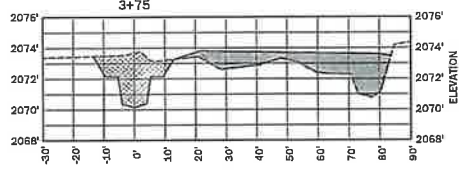
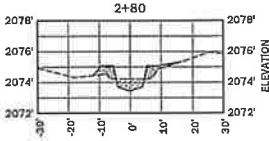
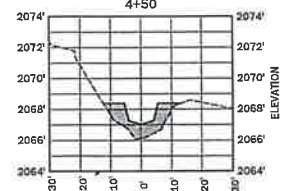
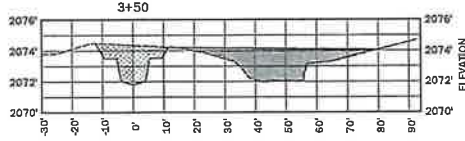
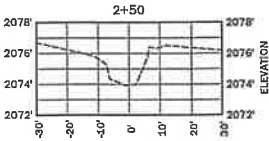
NO.	DATE	BY	DESCRIPTION	CHK
1	02/16/22	LS	FINAL DESIGN	HW

PROJECT NUMBER: RDG-23-179
DRAWING NUMBER: **4.1**
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MAR 29 2023
BY: _____

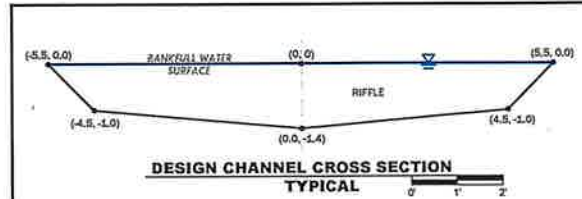


DESIGN CHANNEL CROSS SECTIONS
 TRESTLE CREEK RESTORATION PROJECT
 NEAR SANDPOINT, IDAHO



1 CHANNEL CROSS SECTIONS
 1" = 30'

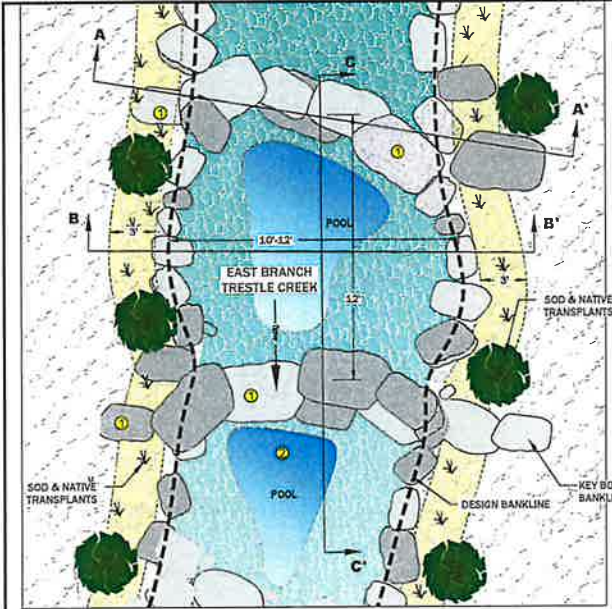
SECTION LEGEND
 DOTTED PATTERN: EXISTING GROUND ELEVATION
 SOLID PATTERN: FINISHED GRADE
 HATCHED PATTERN: CUT
 SHADY PATTERN: FILL



NO.	DATE	BY	DESCRIPTION	CHK
1	07/10/22	LS	FINAL DESIGN	HW
PROJECT NUMBER ROG-23-170				
DRAWING NUMBER 5.0				
Drawing 7 of 10				

RECEIVED
 MAR 29 2023

BY: _____



1 BOULDER STEP POOL
PLAN VIEW
1" = 6'

- GENERAL NOTES**
1. THE INTENT OF THE BOULDER STEP POOL STRUCTURE IS TO PROVIDE VERTICAL AND LATERAL STABILITY FOR ENTRENCHED STREAM TYPES EXHIBITING STEEP GRADIENTS. THE STRUCTURE CONSISTS OF ALTERNATING GRADE CONTROL STEPS AND PLUNGE POOLS. VELOCITY AND ENERGY DISSIPATION IS CONTROLLED BY STEP SPACING WHICH IS DETERMINED AS A FUNCTION OF GRADIENT RELATIVE TO CHANNEL WIDTH. STEP HEIGHT IS DESIGNED TO MAINTAIN UPSTREAM FISH PASSAGE AT ALL FLOW STAGES. PLUNGE POOLS PROVIDE RESTING AREAS FOR FISH TO STAGE.
 2. ANY CHANGES TO THE CONSTRUCTION SEQUENCE MUST BE APPROVED BY ENGINEER.
 3. ENGINEER SHALL MARK THE GENERAL CONSTRUCTION LOCATIONS FOR EACH BOULDER STEP POOL STRUCTURE PRIOR TO CONSTRUCTION.

- NOTES ON BOULDER STEP POOL STRUCTURE**
1. EXCAVATE TO THE EXCAVATION LIMITS AS SHOWN ON THE DRAWING. SALVAGE COBBLE FROM THE EXISTING CHANNEL AND STOCK PILE ON THE FLOODPLAIN OUTSIDE OF THE IMMEDIATE WORK AREA.
 2. PREPARE THE BASE OF THE EXCAVATION BY PLACING AND BUCKET COMPACTING STREAMBED FILL TO SUBGRADE ELEVATIONS SHOWN ON THE DRAWINGS.
 3. STEP POOLS SHALL BE CONSTRUCTED FROM ROCKS WITH THE DIMENSIONS SHOWN IN THE MATERIAL SCHEDULE. PREFERRED ROCK IS RECTANGULAR IN SHAPE FROM SOURCE APPROVED BY ENGINEER AND SHALL BE SOUND, DENSE (50-2.65 MIN.) AND FREE FROM CRACKS, SEAMS OR OTHER DEFECTS THAT CAN ACCELERATE WEATHERING.
 4. PLACE CAT 1 ROCKS ACCORDING TO THE LAYOUT AND ELEVATIONS SHOWN ON SITE PLAN. FOOTER ROCKS SHALL BE PLACED UNDER ALL CAP ROCKS UNLESS CAP ROCKS EXTEND BELOW SCOUR DEPTH. ALL ROCKS SHALL BE PLACED ON SUITABLE SUBGRADE CONSISTING OF COARSE ALLUVIUM AS APPROVED BY ENGINEER. ROCK SHALL BE EQUIPMENT-PLACED SO THAT LARGER ROCKS ARE UNIFORMLY DISTRIBUTED WITH NO GAPS BETWEEN BOTH FOOTER ROCKS AND CAP ROCKS. STREAMBED FILL SHALL BE PLACED IN VOIDS AROUND RIPARIAN CUTTINGS AND BETWEEN FOOTER ROCKS AND CAP ROCKS.
 5. PLACE NON-WOVEN GEOTEXTILE FABRIC ON THE UPSTREAM SIDE OF STEP POOLS TO MINIMIZE PIPING OF WATER THROUGH THE STEPS. FABRIC SHALL BE PLACED ACROSS THE ENTIRE WIDTH OF THE STEP THROAT AND SHALL EXTEND BELOW THE ESTIMATED SCOUR DEPTH AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY ENGINEER. BACKFILL FABRIC WITH NATIVE STREAMBED FILL AND SMALL BOULDERS AS SHOWN ON THE DRAWINGS.
 6. THE UPSTREAM TIE-IN WILL BE STAKED IN THE EXISTING STREAMBED BY ENGINEER. THE DOWNSTREAM TIE-IN SHALL TRANSITION SMOOTHLY INTO EXISTING TRESTLE CREEK. STRUCTURE TIE-IN LOCATIONS MAY BE STABILIZED WITH BOULDERS AND STREAMBED FILL AS DIRECTED BY ENGINEER.

MATERIAL SCHEDULE (PER STRUCTURE)

ITEM	QUANTITY	DIAMETER (IN.)
1 CATEGORY 1 ROCK	25	24-30
2 CHANNEL STREAMBED FILL	5 CY	SEE GRADATION
3 NON-WOVEN GEOTEXTILE FABRIC	20 FT	8MM THICKNESS

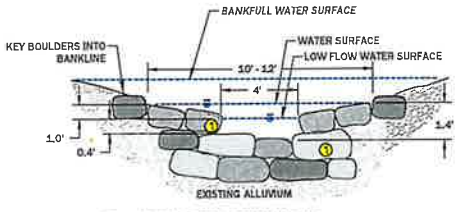
STREAMBED FILL GRADATION

SIZE (IN)	PERCENT PASSING
10	100
6	90-100
4	50-80
3	30-50
1	10-30
0.08	10

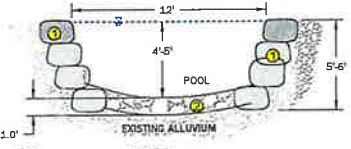
NOTE: MIX SALVAGED MATERIAL AND IMPORTED MATERIAL TO ACHIEVE SPECIFIED GRADATION



4 BOULDER STEP POOL
PROFILE C - C'
1" = 5'



2 BOULDER STEP WEIR
SECTION A - A'
1" = 5'



3 POOL
SECTION B - B'
1" = 5'



EXAMPLE OF A CONSTRUCTED BOULDER STEP POOL SYSTEM



BOULDER STEP POOL DETAIL
TRESTLE CREEK RESTORATION PROJECT
NEAR SANDPOINT, IDAHO

CHK	BY	DESCRIPTION
		FINAL DESIGN

PROJECT NUMBER: 200-22-170
DRAWING NUMBER: 6.0
Sheet # of 10

RECEIVED
MAR 29 2023

BY: _____



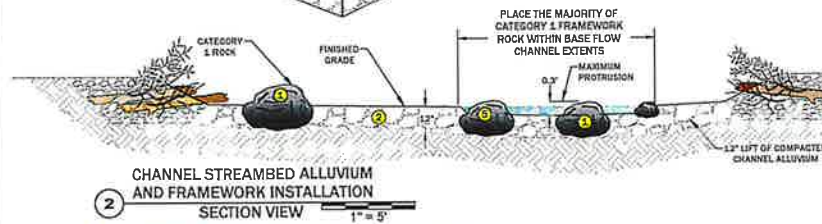
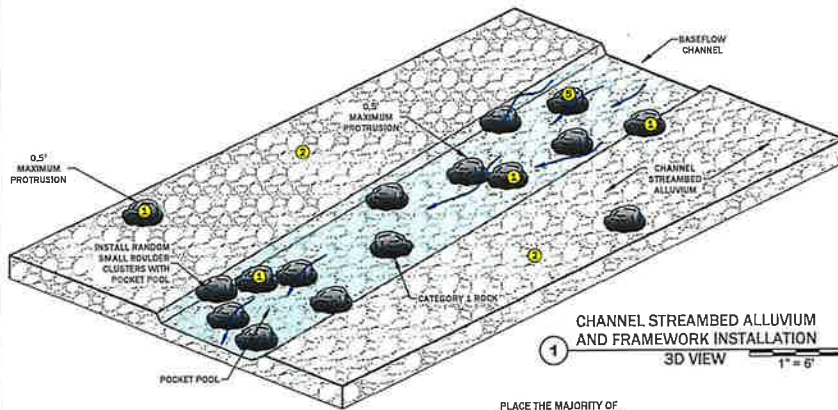
CONSTRUCTED CHANNEL STREAMBED DETAIL
 EAST BRANCH TRESTLE CREEK RESTORATION PROJECT
 NEAR SANDPOINT, IDAHO

GENERAL NOTES

- CONSTRUCTION OF THE CHANNEL STREAMBED WILL OCCUR AFTER THE CHANNEL SUBGRADE IS PREPARED.
- ANY CHANGES TO THE CONSTRUCTION SEQUENCE MUST BE APPROVED THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL MARK THE UPSTREAM AND DOWNSTREAM EXTENTS OF THE LOCATIONS OF THE CONSTRUCTED CHANNEL STREAMBED STRUCTURES.

NOTES ON CONSTRUCTED CHANNEL STREAMBED INSTALLATION

- PRIOR TO CONSTRUCTION OF THE CHANNEL STREAMBED, CONSTRUCTION MANAGER SHALL VERIFY CHANNEL SUBGRADE ELEVATIONS, CHANNEL SUBGRADE SERVES AS THE FOUNDATION FOR THE CONSTRUCTED CHANNEL STREAMBED.
- CONTRACTOR SHALL STOCKPILE CHANNEL ALLUVIUM PER SPECIFICATIONS NOTED ON THE DRAWING.
- PREPARE THE FRAMEWORK. CONTRACTOR SHALL PLACE 10-INCH TO 12-INCH BOULDERS (CATEGORY 1 ROCK) ON THE SURFACE OF THE CHANNEL SUBGRADE PRIMARILY WITHIN THE LOW FLOW CHANNEL AS INDICATED ON THE DRAWING. DUE TO THE INHERENT VARIABILITY IN MATERIALS, BOULDER ELEVATIONS SHALL BE ADJUSTED TO ASSURE BOULDER PROTRUSION ABOVE FINISH GRADE WILL BE NO GREATER THAN 0.5-FT.
- CONTRACTOR MAY INSTALL 10-INCH TO 12-INCH BOULDERS (CATEGORY 1 ROCK) IN CLUSTERS, AS DIRECTED BY THE CONSTRUCTION MANAGER, TO CREATE A COMPLEX SERIES OF POCKET POOLS THAT EFFECTIVELY DISSIPATE ENERGY AND PROVIDE PATHWAYS FOR FISH MOVEMENT. BOULDER ELEVATIONS SHALL BE ADJUSTED TO ASSURE BOULDER PROTRUSION ABOVE FINISH GRADE IS NO GREATER THAN 0.3-FT.
- PREPARE THE MATRIX. AFTER THE FRAMEWORK, BOULDER CLUSTERS, AND SMALL BOULDER RIBS ARE INSTALLED AND INSPECTED BY CONSTRUCTION MANAGER, PLACE APPROPRIATE CHANNEL STREAMBED ALLUVIUM GRADATION AND WASH FINES INTO STREAMBED. CHANNEL STREAMBED ALLUVIUM SHALL BE PLACED TO THE FULL COURSE THICKNESS OF 12-INCHES TO FINISHED GRADE.



MATERIAL SCHEDULE (PER LINEAR FOOT)

ITEM	DIA.	QUANTITY
1 CATEGORY 1 ROCK	10" - 12"	0.8 EA.
2 CHANNEL STREAMBED ALLUVIUM	6" MINUS	0.3 CY

STREAMBED FILL GRADATION	
SIZE (IN)	PERCENT PASSING
10	100
6	90-100
4	50-80
3	30-50
1	10-30
0.075	10

NOTE: MIX SALVAGED MATERIAL AND IMPORTED MATERIAL TO ACHIEVE SPECIFIED GRADATION

NO.	DATE	BY	DESCRIPTION	SCALE
1	02/10/23	LS	FINAL DESIGN	

PROJECT NUMBER: R00-20-179
DRAWING NUMBER: 6.1
Drawing 3 of 10

RECEIVED

MAR 29 2023

BY: _____

NOTES ON VEGETATED WOOD MATRIX INSTALLATION

- EXCAVATE TO THE EXCAVATION LIMITS AS SHOWN. EXCAVATED MATERIAL SHALL BE STOCKPILED ON THE FLOODPLAIN OUTSIDE OF THE IMMEDIATE WORK AREA.
- PREPARE THE BENCH OF THE STRUCTURE BY PLACING CHANNEL STREAMBED ALLUVIUM FROM THE BASE OF THE EXCAVATION DEPTH/BOTTOM OF EXCAVATION TO WITHIN 1.0-FT. OF FINISHED GRADE.
- CATEGORY 2 AND CATEGORY 3 WOOD, AND CHANNEL STREAMBED ALLUVIUM SHALL BE PLACED IN ALTERNATING LAYERS AND BUCKET COMPACTED UP TO THE TOP OF BANK ELEVATION AS SHOWN BELOW IN THE INSTALLATION SEQUENCE. PLACE SIX (6) FT TO EIGHT (8) FT. DORMANT WILLOW CUTTINGS AT A DENSITY OF 3 PER LINEAR FT ALONG THE TOP OF BANK LINE ELEVATION. WILLOW CUTTINGS SHALL SLOPE AT AN APPROXIMATE 1:1 SLOPE AS SHOWN IN SECTION VIEW. STEMS MAY OVERLAP. THE CUT ENDS SHALL BE PLACED AT THE BASE OF THE SLOPES WITH THE UNCUT ENDS EXTENDING BEYOND THE EDGE OF THE TRENCH SO NO GREATER THAN ONE-THIRD OF THE TOTAL CUTTING LENGTH IS EXPOSED BEYOND THE TOP OF BANK EDGE. WILLOW CUTTINGS SHOULD INTERCEPT THE DESIGN TOP OF BANK LINE AS SHOWN IN STEP 5 OF THE INSTALLATION SEQUENCE.
- THE UPSTREAM AND DOWNSTREAM ENDS OF THE STRUCTURE SHALL TRANSITION SMOOTHLY INTO ADJACENT STREAMBANK STRUCTURES TO MINIMIZE EROSION, FLANKING, AND BANK FAILURE. STRUCTURE ENDS MAY BE STABILIZED WITH ADDITIONAL CATEGORY 1 ROCK AS APPROVED BY ENGINEER.
- AFTER INSTALLATION OF THE VEGETATED WOOD MATRIX, BACKFILL THE STRUCTURE WITH STOCKPILED MATERIAL TO FINISHED GRADE, AND BUCKET COMPACT.

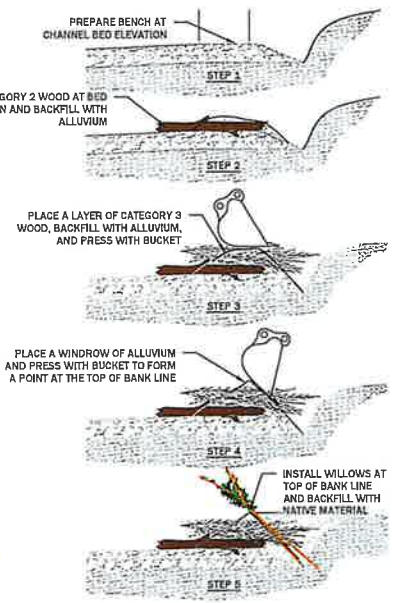
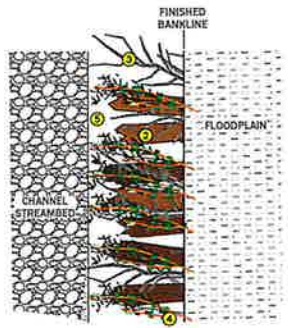
GENERAL NOTES

- CONSTRUCTION OF THE VEGETATED WOOD MATRIX WILL OCCUR AFTER THE CHANNEL AND FLOODPLAIN BACKFILL IS PLACED AND THE CHANNEL STREAMBED IS CONSTRUCTED.
- IF VEGETATED WOOD MATRIX STRUCTURES ARE INSTALLED PRIOR TO OCTOBER 1, LEAVE BACK TRENCH UNFILLED AND COMPLETE STRUCTURE WHEN DORMANT WILLOWS ARE AVAILABLE.
- IT IS CONTRACTOR'S RESPONSIBILITY TO CUT WOOD INTO APPROPRIATE SIZE LENGTHS TO FIT STRUCTURE DIMENSIONS.
- ANY CHANGES TO THE CONSTRUCTION SEQUENCE MUST BE APPROVED BY CONSTRUCTION MANAGER.
- CONTRACTOR SHALL MARK AND CONSTRUCTION ENGINEER SHALL APPROVE THE GENERAL LOCATION FOR EACH VEGETATED WOOD MATRIX STRUCTURE PRIOR TO CONSTRUCTION.

STREAMBANK FILL GRADATION	
SIZE (IN)	PERCENT PASSING
10	100
6	90-100
4	50-80
3	30-50
1	10-50
0.08	10

NOTE: MIX SALVAGED MATERIAL AND IMPORTED MATERIAL TO ACHIEVE SPECIFIED GRADATION

MATERIAL SCHEDULE (PER LINEAR FOOT)		
ITEM	DIA.	QUANTITY
②	CATEGORY 2 WOOD	2" - 4" 0.25
③	CATEGORY 3 WOOD	< 2" 2
④	WILLOW CUTTINGS	0.25" - 1" 3
⑤	STREAMBANK ALLUVIUM	6" MINUS 0.1 CY



VEGETATED WOOD MATRIX
EAST BRANCH TRESTLE CREEK RESTORATION PROJECT
NEAR SANDPOINT, IDAHO

NO.	DATE	BY	DESCRIPTION
1	01/20/22	LD	FINAL DESIGN

PROJECT NUMBER: R03-21-170
DRAWING NUMBER: 6.2
Sheet 13 of 18

RECEIVED
MAR 29 2023
BY:

Gwen Victorson

From: William Haberman <william.haberman@me.com>
Sent: Thursday, June 8, 2023 10:49 AM
To: Gwen Victorson; Mike Ahmer
Cc: Jeremy Grimm
Subject: Re: Incomplete application L96S2796 Trestle Creek
Attachments: IdahoClub-NorthTrestle-IDL-EncroachmentPermitApp-June2023-Signed.pdf; IdahoClub-NorthTrestle-ArmyCorps-JointPermitApplication-Revised-June2023-Final.pdf; IdahoClub-SouthLake-IDL-AssignmentToHOA.pdf; IdahoClub-NorthTrestle-QuitClaimDeed-Lot1-June2023.pdf

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Mike & Gwen — Thank you for your time this week.

Per our conversation, attached please find the following documents you requested:

- 1). Revised Joint Application showing three separate owners (Lot 1 - Valiant Idaho, LLC; Lot 2 - Valiant Idaho II, LLC; and Lot 3 - Rock Chalk Lenders, LLC), each on a separate Page 1 of the application form. All signatures are on the fourth page together.
- 2). Recorded Quit-Claim transferring Lot 1 from Valiant Idaho II, LLC to Valiant Idaho, LLC.
- 3). IDL Encroachment Permit Application signed by the Agent for all three of the entities, Jeremy Grimm of Whiskey Rock Planning + Consulting. The attachments previously provided remain valid and updated.
- 4). Request for Assignment of Encroachment Permit assigning the portion of the docks constructed at the South Lake project from Valiant Idaho, LLC to TIC Lake Estates Owners Association, Inc. I will drop the original off at your Sandpoint office today.

The proposed excavation and placement of fill will include the excavation of a total of 13,900 cubic yards of dirt, topsoil, gravel, rock and/or stone. The excavation will take place within the proposed marina basin, including in large part, the removal of a man-made island. This activity will be performed over approximately 1.43 acres of surface area.

The placement of fill will include the filling of approximately 1.19 acres, or 51,800 SF, of surface area with 10,410 cubic yards of dirt, topsoil, gravel, rock and/or stone. All of this fill material will be sourced through the excavation activities described above.

Nearly all of this fill material will be used to fill a man-made slack water channel that poses a significant risk to the property owners, visitors and trespassers to the property, and thus potential legal liability for the property owners. Any excess fill from the excavation activities will either be used elsewhere within the project for the upland development or removed off-site if unsuitable for such use.

Please confirm this email and the attachments are responsive to your requests, and let me know if you need anything else from us. Thanks. Bill

DEPT OF LANDS

JUN 08 2023

COFLANDS

MAY 31 2023

Instrument # 973054
Bonner County, Sandpoint, Idaho
12/28/2020 11:35:37 AM No. of Pages: 2
Recorded for: NORTH IDAHO TITLE COMPANY- COEUR D' ALENE- RW
Michael W. Rosedale Fee: \$15.00
Ex-Officio Recorder Deputy cbrannon
Index to: QUIT CLAIM DEED

QUITCLAIM DEED


FOR VALUE RECEIVED Vallant Idaho II, LLC an Idaho Limited Liability Company, hereinafter referred to as "Grantor", does hereby convey, release, remise and forever quitclaim unto, Rock Chalk Lenders, LLC an Idaho Limited Liability Company, hereinafter referred to as "Grantees", whose address

is 4434 Dawes Ave, Culver City, CA 90230;

the following lands and property, together with all improvements located thereon, lying in the County of Bonner, State of Idaho, to-wit:

Lot 3 of The Idaho Club North Lake, according to the Plat thereof, recorded in Book 13 of Plats, Page 42, Instrument No. 926831, Official records of Bonner County, Idaho.

TO HAVE AND TO HOLD same unto Grantees, and unto Grantees' assigns forever, with all appurtenances thereunto belonging and including after acquired title.

Date: 12/23/20


William Haberman, managing member
Manager

ACCOMMODATION RECORDING
NORTH IDAHO TITLE HAS
NOT EXAMINED THIS DOCUMENT, ASSUMES
NO LIABILITY AS TO THE VALIDITY AND
ITS EFFECTS UPON THE TITLE.

STATE OF Massachusetts,
COUNTY OF Worcester)ss.
)

On this 23rd Dec. 2020, before

me, the undersigned Notary Public in and for the State of Massachusetts

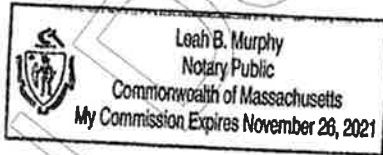
personally appeared William Edwin Haberman

known or identified to me to be the Member/Manager of Valiant Idehoff, LLC

the limited liability company that executed the instrument or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such limited liability company executed the same.

Leah B. Murphy

Notary In and for said County and State,
Residing at: 49 Church St. Whitinsville MA 01588
Commission Exp.: 11/26/2021



DEPT OF LANDS

MAY 01 2023

Unofficial Document

Instrument # 1021079
Bonner County, Sandpoint, Idaho
06/07/2023 01:11:58 PM No. of Pages: 2
Recorded for: NORTH IDAHO TITLE COMPANY- COEUR D' ALENE- RW
Michael W. Rosedale Fee: \$15.00
Ex-Officio Recorder Deputy rflaherty
Index to: QUIT CLAIM DEED

ABOVE FOR RECORDER -- Recorded by Valiant Idaho, LLC, 151 Clubhouse Way, Sandpoint ID 83864

QUITCLAIM DEED

FOR VALUE RECEIVED, the GRANTOR, VALIANT IDAHO II, LLC, an Idaho limited liability company, does hereby quitclaim, release and convey unto the GRANTEE, VALIANT IDAHO, LLC, an Idaho limited liability company, whose current address is 151 Clubhouse Way, Sandpoint, ID 83864,

all of Grantor's right, title, and interest in the real property legally described on Exhibit A, attached hereto and incorporated herein, situated in Bonner County, State of Idaho.

AND TOGETHER with the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, and any after acquired right, title or interest in the above-described real estate.

TO HAVE AND TO HOLD the above-described real estate unto the said Grantees, their heirs, successors and assigns forever.

DATED this 7 day of June, 2023.

VALIANT IDAHO II, LLC

By: 

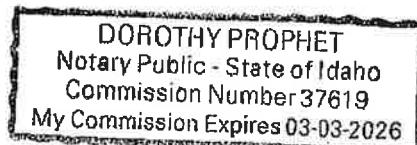
William Haberman, Manager

STATE OF Idaho
COUNTY OF Bonner

This record was acknowledged before me on
June 7, 2023 by William Haberman as
Manager of Valiant Idaho II, LLC.

(Sign) 

(Stamp)



DEPT OF LANDS

JUN 08 2023

EXHIBIT A

LEGAL DESCRIPTIONS

Parcel 1:

Lot 1, The Idaho Club North Lake, according to the Plat thereof, recorded in Book 13 of Plats, Page 42, Instrument No. 926831, Official Records, Bonner County, Idaho.

DEPT OF LANDS

JUN 08 2023

QUITCLAIM DEED

FOR VALUE RECEIVED, the GRANTOR, VALIANT IDAHO, LLC, an Idaho limited liability company, does hereby quitclaim, release and convey unto the GRANTEE, VALIANT IDAHO II, LLC, an Idaho limited liability company, whose current address is 151 Clubhouse Way, Sandpoint, ID 83864,

all of Grantor's right, title, and interest in the real property legally described on Exhibit A, attached hereto and incorporated herein, situated in Bonner County, State of Idaho.

AND TOGETHER with the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, and any after acquired right, title or interest in the above-described real estate.

TO HAVE AND TO HOLD the above-described real estate unto the said Grantees, their heirs, successors and assigns forever.

DATED this 8 day of March, 2023.

VALIANT IDAHO, LLC

By: 

William Haberman, Managing Member

STATE OF FLORIDA
COUNTY OF OSCEOLA

This record was acknowledged before me on
March 8, 2023 by William Haberman as
Managing Member of Valiant Idaho, LLC.

DEPT OF LANDS

MAY 01 2023

(Sign) 

(Stamp)

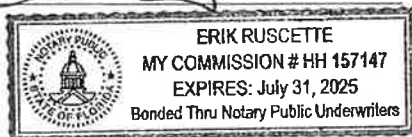


EXHIBIT A

MAY 01 2023

LEGAL DESCRIPTIONS

Parcel 1:

Lot 1, The Idaho Club North Lake, according to the Plat thereof, recorded in Book 13 of Plats, Page 42, Instrument No. 926831, Official Records, Bonner County, Idaho.

Parcel 2:

Lot 2, The Idaho Club North Lake, according to the Plat thereof, recorded in Book 13 of Plats, Page 42, Instrument No. 926831, Official Records, Bonner County, Idaho.

Parcel 3:

That portion of the Southwest quarter of the Southwest quarter of Section 16, Township 57 North, Range 1 East, Boise Meridian, Bonner County, Idaho, lying West of the State Highway No. 200 right of way and East of the Northern Pacific Railway right of way and lying North of the North line of the following described tract:

Beginning at a point where the Section line between Sections 16 and 21, Township 57 North, Range 1 East, Boise Meridian, intersects the State Highway on the Westerly side as it now exists;

thence in a Northwesterly direction along the Westerly side of said Highway, 752 feet;

thence in a Southwesterly direction, 97 feet;

thence in a Southeasterly direction 672 feet to the Section line between Section 16 and 21;

thence East on said Section line between said Sections 16 and 21, 104.25 feet, more or less, to the place of beginning.

Said parcel is also described as follows:

A tract of land situated in the Southwest quarter of the Southwest quarter of Section 16, Township 57 North, Range 1 East of the Boise Meridian, Bonner County, Idaho, lying Southwest of the right of way of State Highway No. 200 and Northeast of the right of way of Montana Rail Link Railway, being a portion of that property described as Parcel 1 of Instrument No. 168846 and more particularly described as follows:

Commencing at the intersection of the South line of the Southwest quarter of the Southwest quarter of Section 16 and the Northeasterly right of way of Montana Rail Link Railway which is South 88° 10' 56" East, 944.95 feet from the Southwest corner of Section 16;

thence leaving said South line and along said right of way North 23° 38' 59" West, 672.00 feet to the true point of beginning;

thence continuing along said right of way North 23° 38' 59" West, 786.99 feet to the intersection with the North line of the Southwest quarter of the Southwest quarter;

thence leaving said right of way and along the said North line South 88° 43' 23" East, 241.38 feet to the Westerly right of way of State Highway No. 200;

thence leaving said North line and along said right of way the following four (4) courses:

on a non-tangential curve to the right having a central angle of 01° 19' 25" (radial bearing=South 73° 15' 16" West), a radius of 768.50 feet, for an arc length of 17.75 feet (chord=South 16° 06' 41" East, 17.75 feet);

thence along a line offset 50.00 feet Westerly of and parallel to a spiral curve (centerline is=200 feet, a=3.5, S=7°) for a chord of South 10° 43' 01" East, 193.87 feet);

thence South 08° 25' 19" East, 86.06 feet;

thence on a curve to the left having a central angle of 13° 56' 48", a radius of 1482.53 feet, for an arc length of 360.87 feet (chord=South 15° 23' 43" East, 359.98 feet);

thence leaving said right of way South 44° 37' 10" West, 106.45 feet (record = "Southwesterly 97 feet") to the true point of beginning.

EXCEPT that portion as described in Default Judgment and Final Order of Condemnation in favor of the State of Idaho, Idaho Transportation Board, recorded May 2, 2012, Instrument No. 825632, Official Records.

DEPT OF LANDS

MAY 01 2023